

Planning Application for the Aylesbury Estate Regeneration

# First Development Site Application

# Design Addendum S73 Amendments

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Hawkins\Brown

AYLESBURY NOW



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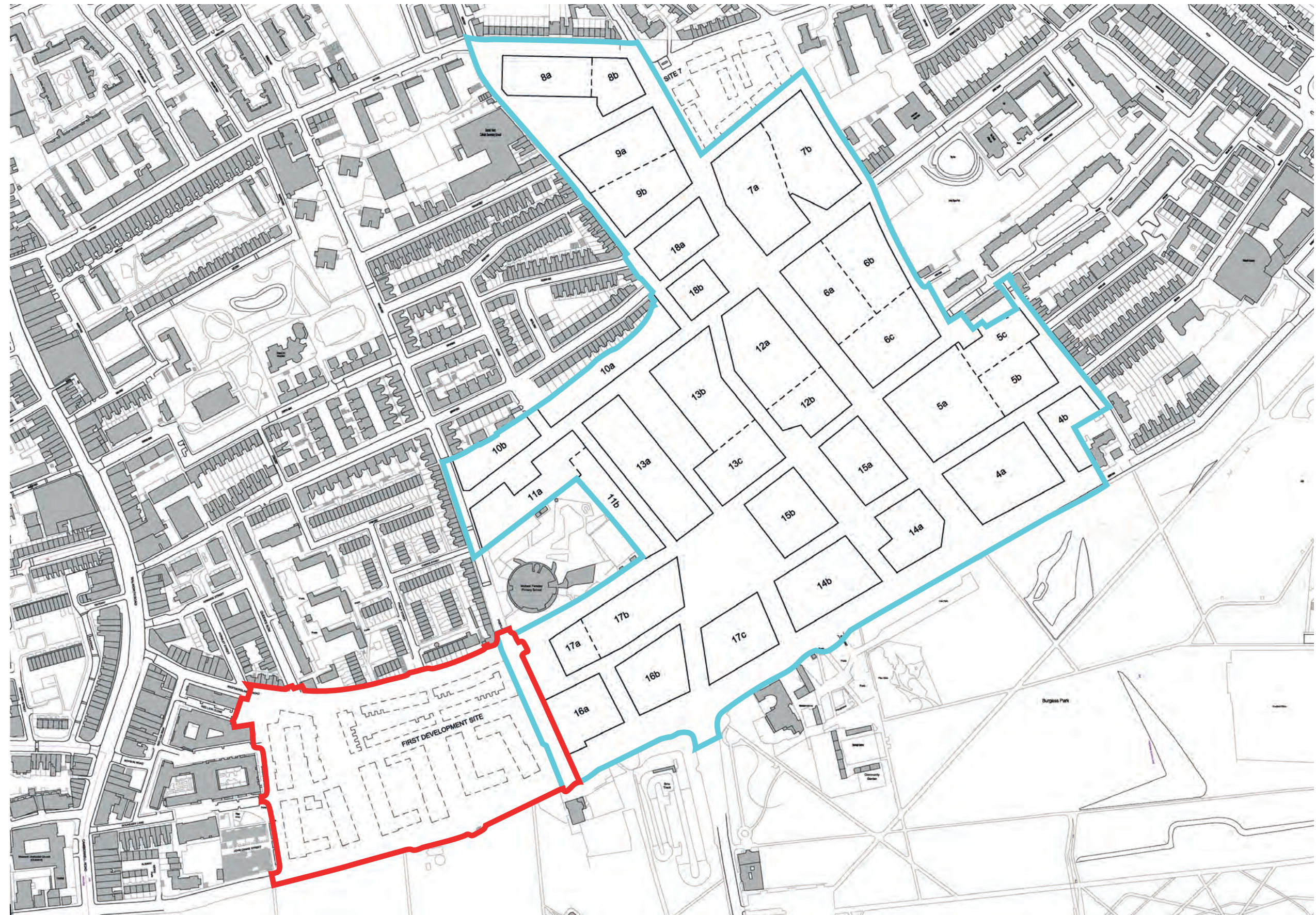
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# 1.1 Purpose of the Document

## First Development Site within Aylesbury Regeneration Masterplan



First Development Site within the wider Aylesbury Regeneration Masterplan

Aylesbury Masterplan Outline

First Development Site Outline



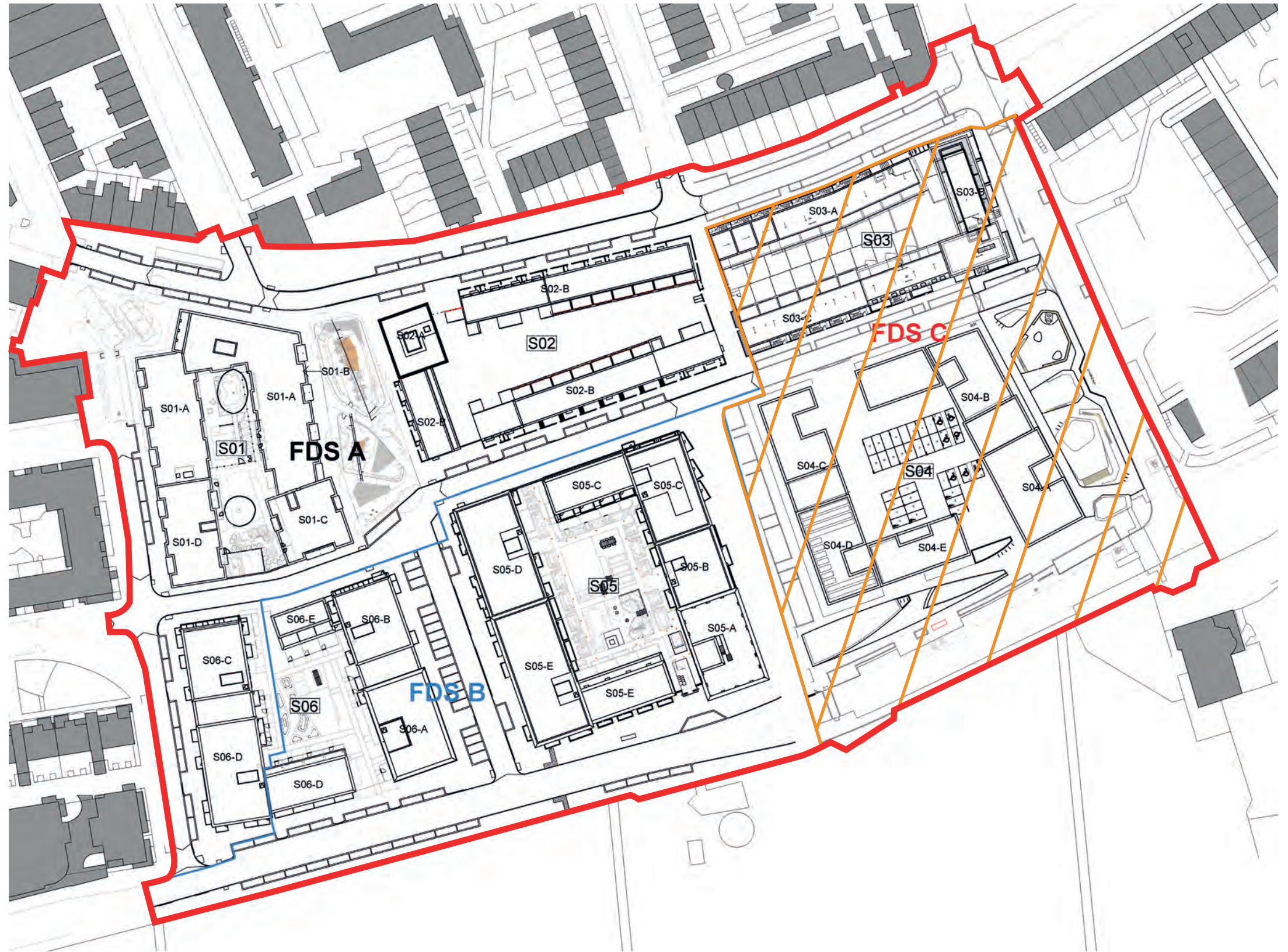
# 1.1 Purpose of the Document

This document sets out the amendments that form the Section 73 Amendment to the consented planning application (14.02.19) for the First Development site (FDS) Aylesbury Estate regeneration.

The FDS is an extant consent for the demolition of the existing buildings and the redevelopment of the site. The approved development comprises six subplots (S01, S02, S03, S04, S05, and S06). The site has been split into three phases or 'contracts' for construction purposes, which are known as FDS A, FDS B, and FDS C. The proposed amendments only relate to FDS C (Subplots S03 and S04).

The proposed amendments to the planning application arise from a number of factors occurring following consent of the scheme, which are set out in the following section. The overall approach to the scheme design remains consistent with the consented approval seeking to deliver a high quality, public realm led approach that regenerates the first part of the estate with a street based pattern of spaces and built form stitching back into the local context.

The document sets out a summary of the changes that are proposed which vary from minor amendments to elevations through to minor adjustments to the overall massing and increased overall number of new homes.



Extant Consent Site Layout showing extents of Contract Areas

- First Development Site Contract A Area (FDS A)
- First Development Site Contract B Area (FDS B)
- First Development Site Contract C Area (FDS C)

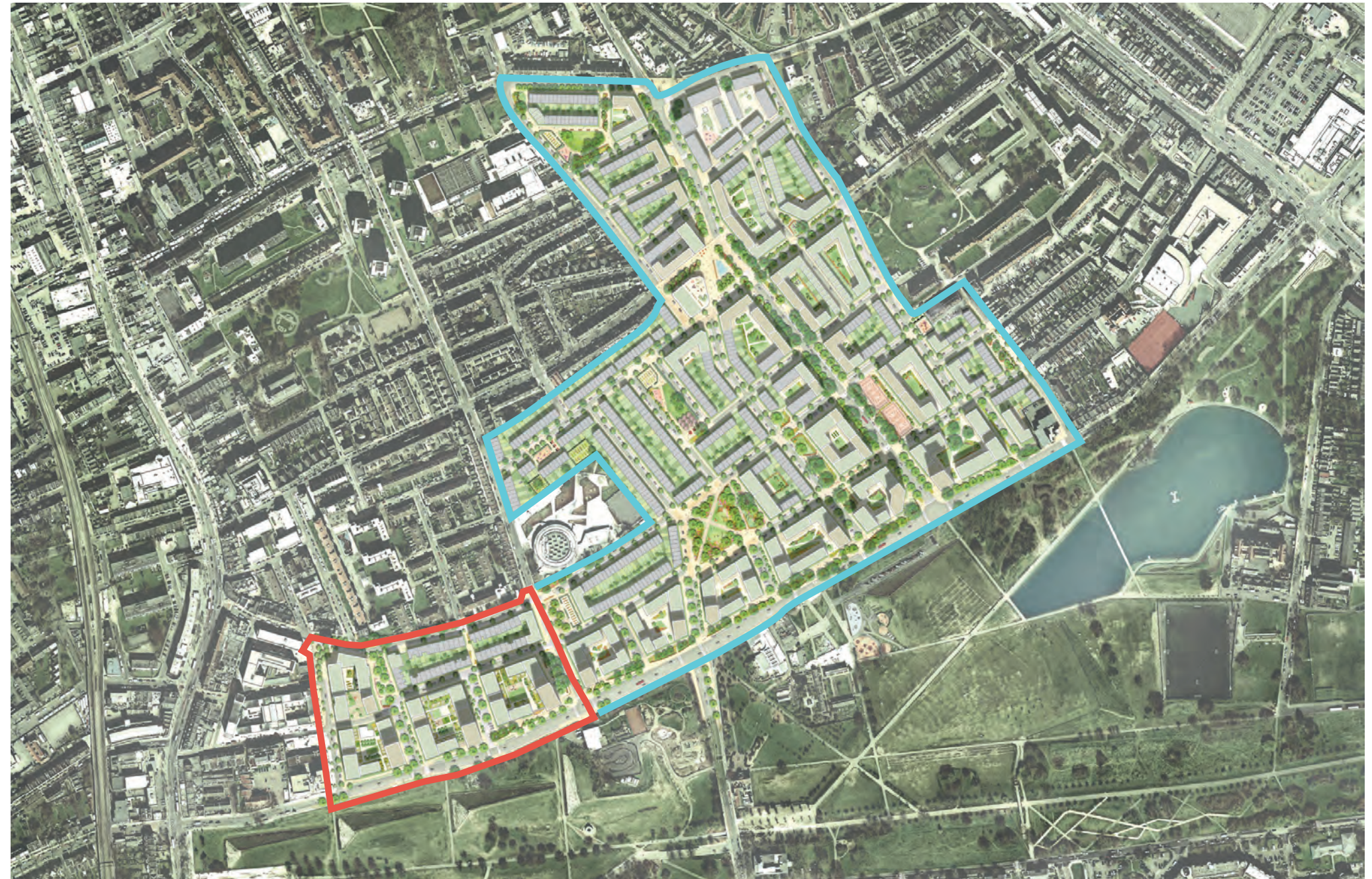


# 1.2 First Development Site (FDS) Extant Consent

## Site Overview

The First Development Site (FDS) sets the benchmark for the regeneration of the wider Aylesbury Estate. The masterplan and the FDS aim to remove the physical and psychological barriers that signal the edge of the estate whilst retaining the estate's strong sense of community. Achieving the highest density of the regeneration area, this phase prioritises opportunities to rehouse existing residents and is a major milestone in the estate regeneration.

Client	Notting Hill Genesis London Borough of Southwark
Planning Authority	London Borough of Southwark
Number of Homes homes	Consented No. of Homes: 842 Proposed No. of Homes: 902



FDS within the wider masterplan

- FDS Boundary Line
- Masterplan Boundary Line



FDS within Aylesbury Masterplan Vision

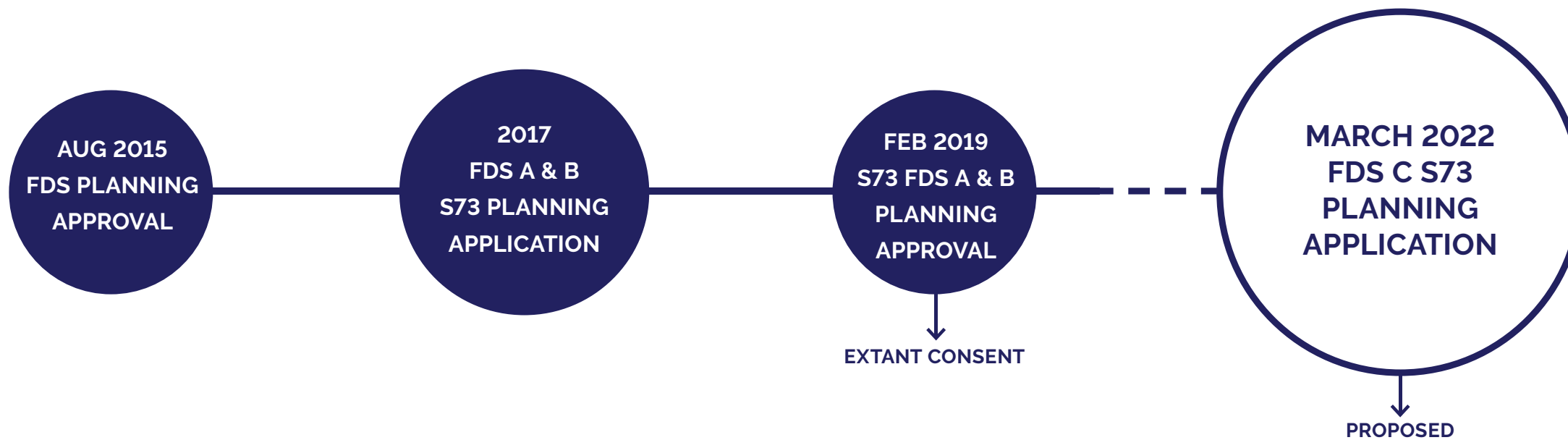


FDS Extant Consent within Illustrative Masterplan Massing View from Burgess Park



## 1.2 First Development Site (FDS) Extant Consent

### Summary of Planning Process



#### Background

The decision to grant planning consent for the detailed application for the First Development site was initially made in 2015, (March P2015 Planning Committee on 5 August 2015, planning application reference LBS Registered Number 14/AP/3843.)

FDS A and B (Subplots S01, S02, S05 and S06) were subsequently amended in 2019 with an aim of providing additional, better quality housing and also involved a review of the energy strategy. This variation focused entirely on these subplots as they were not restricted by CPO and were first to be demolished. The 2019 permission is referred to as the extant consent throughout this document. Both FDS A and B are currently under construction.

The extant Planning Consent for the FDS delivers 842 new homes across a mix of tenures within a series of urban residential blocks across a 4.4 Ha site.

The site extends from Westmoreland Road to the North, Albany Road to the south, Portland Street to the east and Bradenham Place to the west. A new east - west route is proposed through the site with new north - south routes enabling pedestrian and vehicular movement through the site.

The street and public space layout results in 6 subplots across the FDS.

#### Rationale

The proposed amendments for the remaining subplots in FDS C aims to deliver an improved scheme built on a better understanding of local market demand for new homes, delivering more affordable and more family homes. This is balanced alongside improvements to building safety and construction regulations as well as a desire to move towards net zero carbon over the years that have since passed.

The new Section 73 Amendment is submitted to reflect the changes that are proposed to this consented scheme following the design changes made for the following reasons:

- Firstly, a partial increase in height of specific blocks to allow a provision of additional homes in order to address local demand, and to sensitively improve the relationship between heights on Subplot S04 and Portland Street.
- Secondly, an improvement to the overall design development following a detailed scheme review by the client.
- Thirdly, a review of the energy strategy in order to reduce carbon emissions, comply with building regulations and increase building fabric performance, including the installation of air source heat pumps to serve Subplots S03 and S04.

#### Site Extent

The red line of the planning application remains unchanged from the previous consent.

#### Site Layout

No changes are proposed to the site layout in terms of access for vehicles, pedestrians or cyclists.

Access arrangements within the site and locations of entrances to car parks and to residential buildings follow the same principle of the consented scheme. On Subplot 03, an entrance core has been added on Westmoreland Road to serve new block accommodation in Block 3A.

Minor amendments have been made to the building footprints across the site. Detailed design resulted in a marginal increase of Block 4A footprint (Subplot 04).

#### Massing, Built Form and Height

In subplot 4, changes to the massing include an addition of three storeys to Block 4A to sensitively improve the relationship with the adjacent plots on Albany Road.

This accompanies a partial increase in height to Block 3A and 3B to increase the number of dwellings in Subplot 03. Additionally, a number of houses have been substituted with two storey maisonettes with flats above, constituting minor changes to the massing outline in S03.

These changes have been detailed in following sections of this document.

#### Quantum of Accommodation and Land Use

No changes to the land use are proposed with the FDS delivering C3 Residential within subplot S03, and a combination of C3 Residential and Class E Commercial within Subplot S04.

The quantum of accommodation overall has increased as a result of changes on:

Subplot S03: the houses on the North side became maisonettes with flatted accommodation above (Block 3A) and an extra floor of accommodation was added to Block 3B;

Subplot S04: the number of homes provided within the Block 4A increased through the addition of three storeys of accommodation and an adjustment to the building footprint.

Amendments to housing typologies have resulted in minor adjustments to the overall mix of accommodation across the scheme. Details of changes to tenure are provided within Section 2.0.

#### Landscape

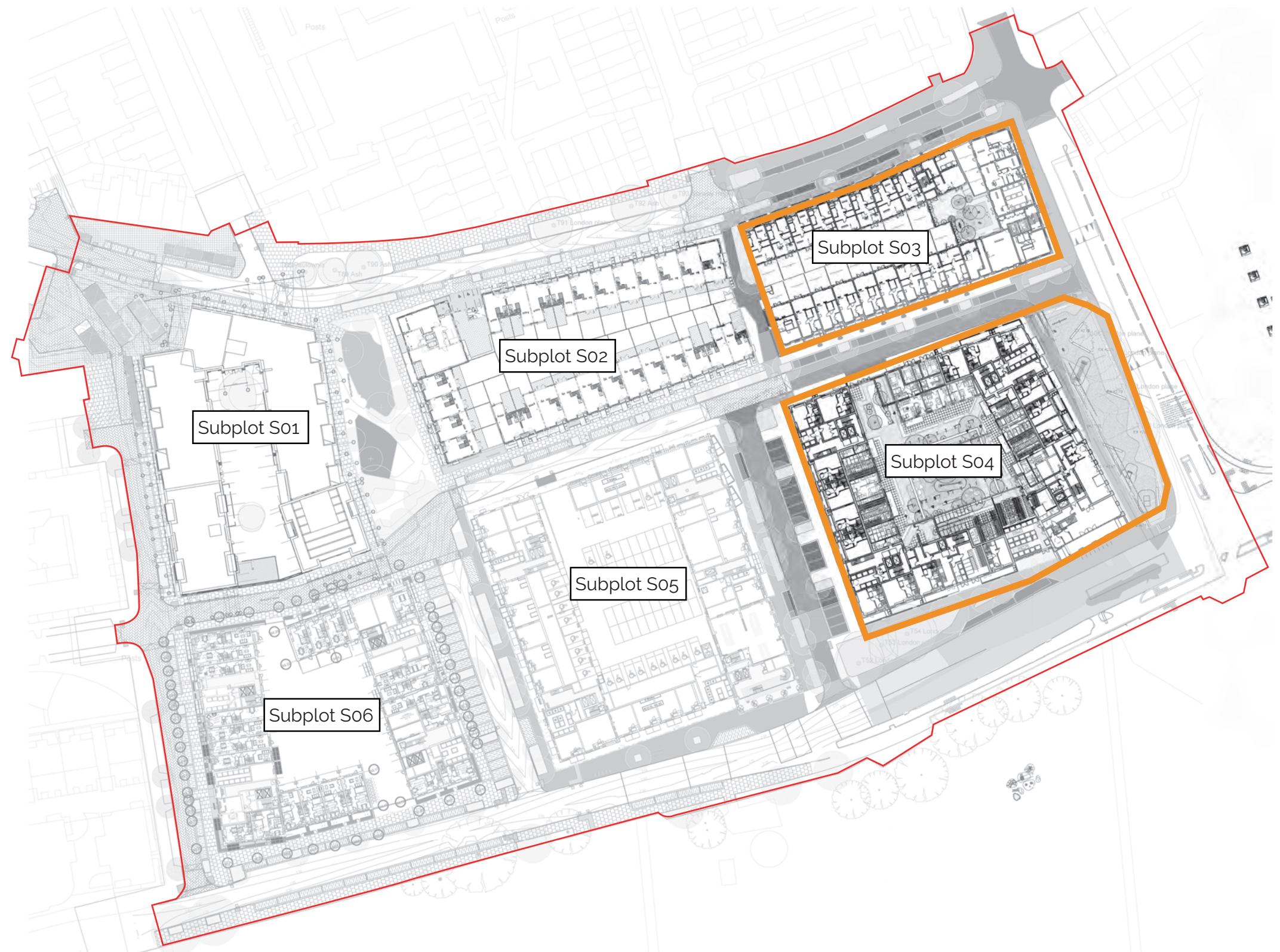
Changes to the landscape strategy are related with the units increase. These changes include the introduction of a communal courtyard in Subplot S03 and amendments to the central courtyard and roof top area in Subplot 04. The design of Portland street park was also revised and additional play area was provided. These changes are picked up in Section 9.0 of this document.

# 1.3 Extent of Area of Amendments

## Extant Consent

These pages highlight the areas under review for this S73 Amendment Application.

The locations of Subplots S03 and S04 within the First Development Site are shown on the plan presented.



— FDS Boundary Line

□ FDS C Illustrative Boundary

FDS - Site Plan - Extant Consent scheme



# 1.4 Executive Summary of Proposed Amendments

## FDS C

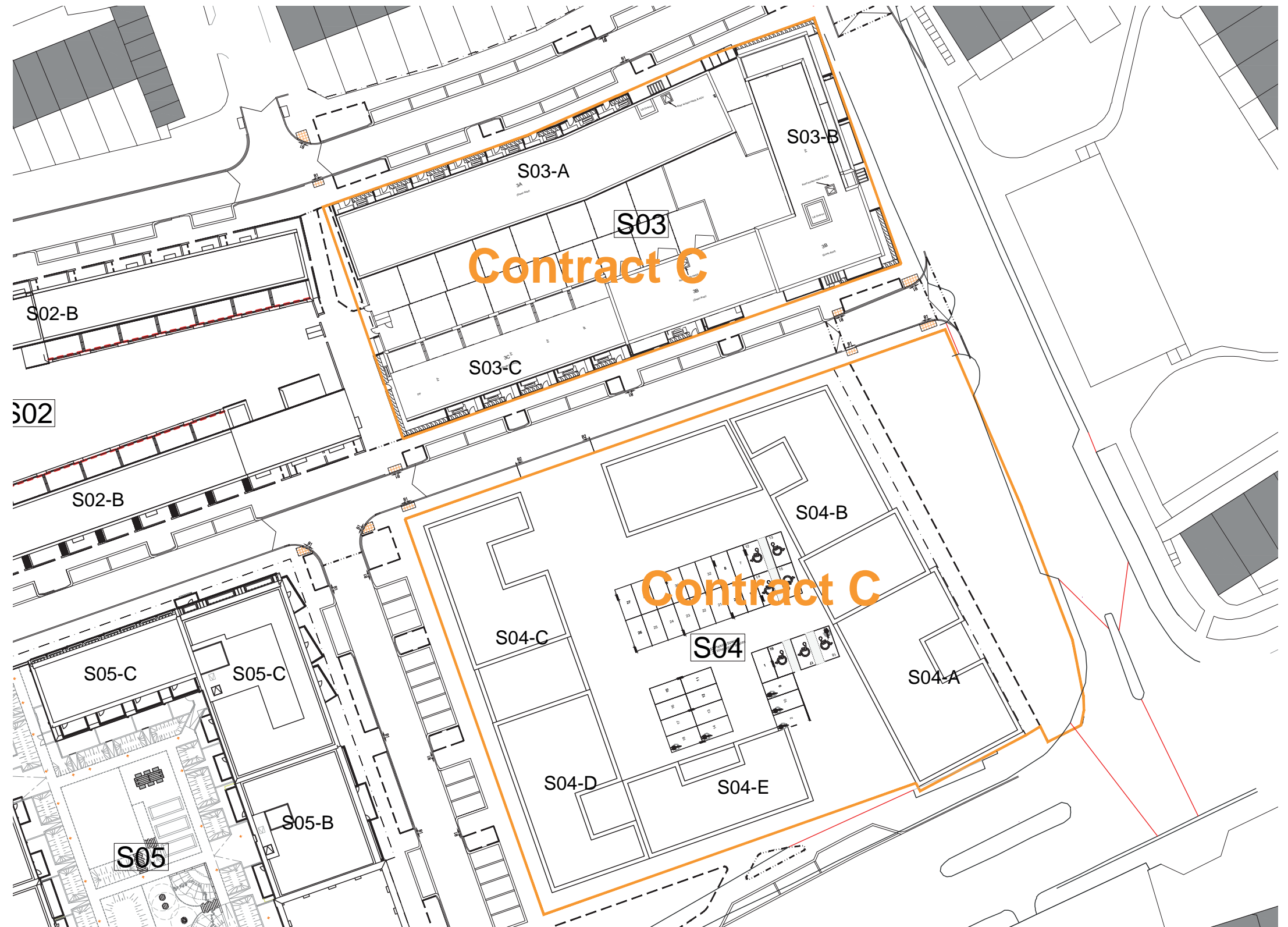
The Section 73 application for minor material amendments to the detailed planning consent for the subplots within the First Development Site (FDS) can be summarised as follows;

### Subplot S03

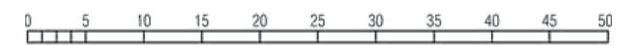
- Increase in height: Block 3A; partial increase from 3 to 4 storeys; Block 3B: from 6 to 7 storeys
- Development of external elevational treatment
- A revised mix of homes and tenure
- An additional 21 new homes
- Improved configuration of internal layouts
- Retaining six 3-storey 4B6P family houses
- Communal Courtyard Amenity Space added

### Subplot S04

- Increase in height - Block 4A; from 20 to 23 storeys
- Increase in footprint of Block 4A to accommodate an additional home per floor.
- Development of facade and external elevational treatment
- A revised mix of homes and tenure
- An 39 additional new homes
- Improved configuration of internal layouts
- Minor alterations to the landscape design



FDS C - Site Plan







# 2.1 FDS Summary Schedule

## Extant Consent Scheme

The schedule of accommodation for the extant consent is shown here.

The scheme delivered 842 homes across the First Development Site and 261 homes within FDS C.

BLOCK	TENURE	UNITS	HR	FLATS							MAISONNETTE & DUPLEX					HOUSES					
				1B	2B3P	2B3P +	2B4P	3B4P	3B5P +3B6P	4B6P	4B7P	2B4P (M)	3B4P (M)	3B5P (M) 3B6P (M)	4B6P (M)	4B7P (M)	4B6P (H)	5B7P (H)			
1A	5/6 storey	Extra Care SR	54	110	52	2	0	0	0	0	0	0	0	0	0	0	0	0	0		
1B	265.97sqm		0	COMMUNITY CENTRE																	
1C	10 storey	SR	41	111	32	0	0	0	5	0	0	0	0	0	0	2	2	0	0		
1D	Ground Floor Maisonettes	Private	2	12												2			0		
1D	7 storey	S/O	22	63	3	19	0	0	0	0	0	0	0	0	0	0	0	0	0		
<b>SUB PLOT 1 TOTAL</b>				<b>119</b>	<b>296</b>	<b>87</b>	<b>21</b>	<b>0</b>	<b>0</b>	<b>5</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>4</b>	<b>0</b>	<b>0</b>		
2A	4 storey	LD/SR	7	14	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2B	3/4 storey houses	SR	22	145	0	0	0	0	0	0	0	0	0	0	0	0	0	9	13		
2B	3/4 storey houses	Private	5	30	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0		
<b>SUB PLOT 2 TOTAL</b>				<b>34</b>	<b>189</b>	<b>7</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>14</b>	<b>13</b>	
3A	3/4 storey houses	Rented	13	83	0	0	0											8	5		
3A	3/4 storey houses	Private	7	44	0	0	0											5	2		
3B	5/6 storey	S/O	16	40	11	2	0	0	0	0	0	0	3	0	0	0	0	0	0		
3B	5/6 storey	Private	4	20	0	0	0	0	0	0	0	0	0	0	4	0	0	0	0		
<b>SUB PLOT 3 TOTAL</b>				<b>40</b>	<b>187</b>	<b>11</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>3</b>	<b>0</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>13</b>	<b>7</b>	
4A	20 storey	Private	92	258	55	0	0	37	0	0	0	0	0	0	0	0	0	0	0		
4B	6/10storey	Market Rent	48	194	0	4	5	22	0	3	0	0	11	0	3	0	0	0	0		
4C	Ground Floor Maisonettes	Private	2	10	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0		
4C	7 storey	S/O	24	69	12	3	0	7	0	0	0	0	2	0	0	0	0	0	0		
4D	10 storey	SR	34	136	0	14	2	4	0	12	0	0	0	0	2	0	0	0	0		
4D	Ground Floor Maisonettes	Private	2	8	0	0	0	0	0	0	0	0	2	0	0	0	0	0	0		
4E	6 storey	S/O	17	50	9	0	8	0	0	0	0	0	0	0	0	0	0	0	0		
4E	Ground Floor Maisonettes	Private	2	10	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0		
<b>SUB PLOT 4 TOTAL</b>				<b>221</b>	<b>735</b>	<b>76</b>	<b>21</b>	<b>15</b>	<b>70</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>9</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	
5A	18 storey	Private	80	208	48	16	0	16	0	0	0	0	0	0	0	0	0	0	0		
5B	Ground Floor Maisonettes	Private	2	10	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0		
5B	6 storey	S/O	12	40	4	0	0	8	0	0	0	0	0	0	0	0	0	0	0		
5C	Maisonettes/Duplexes	Private	15	72									4	0	10	1	0	0	0		
5C	6/8 storey	S/O	30	83	18	1	11	0	0	0	0	0	0	0	0	0	0	0	0		
5D	Ground Floor Maisonettes	Private	4	20											4				0		
5D	5/7 storey	S/O	30	76	19	6	5	0	0	0	0	0	0	0	0	0	0	0	0		
5E	4/10 storey	SR	65	240	21	5	2	6	2	12	0	0	4	0	13	0	0	0	0		
<b>SUB PLOT 5 TOTAL</b>				<b>238</b>	<b>749</b>	<b>110</b>	<b>28</b>	<b>18</b>	<b>30</b>	<b>2</b>	<b>12</b>	<b>0</b>	<b>0</b>	<b>8</b>	<b>0</b>	<b>29</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>0</b>	
6A**	Ground Floor Maisonettes	Private	4	19	-	-	-	-	-	-	-	-	1	0	3	0	0	-	-		
6A**	2nd -13th Floor	S/O	60	168	36	0	24	0	0	0	0	0	0	0	0	0	0	0	0		
6B**	9 storey	SR	37	115	13	10	0	11	0	0	0	0	1	0	1	1	0	0	0		
6C	Ground Floor Maisonettes	Private	3	12	0	0	0	0	0	0	0	0	3	0	0	0	0	0	0		
6C	8 storey	SR	30	93	15	4	0	4	0	5	0	0	0	0	2	0	0	0	0		
6D	Ground Floor Maisonettes	Private	8	39	0	0	0	0	0	0	0	0	1	1	6	0	0	0	0		
6D	10 storey	SR	45	144	21	8	0	2	6	4	0	0	0	0	4	0	0	0	0		
6E	3 storey houses	Private	3	18	0													3	0		
<b>SUB PLOT 6 TOTAL</b>				<b>190</b>	<b>608</b>	<b>85</b>	<b>22</b>	<b>24</b>	<b>17</b>	<b>6</b>	<b>9</b>	<b>-</b>	<b>-</b>	<b>6</b>	<b>1</b>	<b>16</b>	<b>1</b>	<b>-</b>	<b>3</b>	<b>-</b>	
<b>TOTALS</b>						<b>1B</b>	<b>2B3P</b>	<b>2B4P</b>	<b>3B4P</b>	<b>3B5P</b>	<b>4B6P</b>	<b>4B7P</b>	<b>2B4P (M)</b>	<b>3B4P (M)</b>	<b>3B5P (M)</b>	<b>4B6P (M)</b>	<b>4B7P (M)</b>	<b>4B6P (H)</b>	<b>5B7P (H)</b>		
<b>TOTAL NO UNITS</b>				<b>842</b>	<b>842</b>	<b>2764</b>	<b>376</b>	<b>94</b>	<b>57</b>	<b>117</b>	<b>13</b>	<b>36</b>	<b>0</b>	<b>0</b>	<b>32</b>	<b>1</b>	<b>60</b>	<b>6</b>	<b>0</b>	<b>30</b>	<b>20</b>
DENSITY	628 HRH			2B SPLIT		2B3P		2B4P/2B4PM		Total No Flats			Total No Maisonettes			Total No Houses					
DENSITY	191 DPH			50%		151		149		693			99			50					
Site Area	4.4 ha	BUSINESS PLAN TARGET		50.0%				659			111			50							

TENURE & HOUSING MIX (UNITS) EXCLUDING EXTRA CARE					Split at Planning	
Target Rent	294	64%	58%	74%		
S/O	211		42%	26%	46%	
PRIVATE	283	36%			54%	
<b>TOTAL</b>	<b>788</b>					
TENURE & HOUSING MIX (HAB ROOMS) EXCLUDING EXTRA CARE					Split at Planning	
Target Rent	1081	63%	65%	77%		
S/O	589		35%	23%	49%	
PRIVATE	984	37%			51%	
<b>TOTAL</b>	<b>2654</b>					
TENURE & HOUSING MIX (UNITS) INCLUDING EXTRA CARE					Split at Planning	
Target Rent	348	66%	62%	75%		
S/O	211		38%	25%	49%	
PRIVATE	283	34%			51%	
<b>TOTAL</b>	<b>842</b>					
TENURE & HOUSING MIX (HAB ROOMS) INCLUDING EXTRA CARE					Split at Planning	
Target Rent	1191	64%	67%	77%		
S/O	589		33%	23%	51%	
PRIVATE	984	36%			49%	
<b>TOTAL</b>	<b>2764</b>					



## 2.2 Tenure Distribution

### FDS Extant Consent Scheme

These diagrams illustrate the changes in tenure distribution on Subplot 3 and Subplot 4, and the impact on the First Development Site (FDS).

Due to the complexity of the tenure approach across the site, the plans below summarise the tenure split across the ground and typical floors.

The extant consent application sought to deliver a mixed tenure high density scheme. The proposed amendments are consistent with this goal. The elevational treatment of the architectural design is tenure blind.

- Extra Care/Social Rent/Shared Ownership Single Aspect
- Shared Ownership
- Private
- Social Rent
- Shared Ownership Maisonettes & Affordable Rent Above



Extant Consent Tenure Plan\_Ground Floor



Extant Consent Tenure plan\_Typical Floor





## 2.2 Tenure Distribution

### FDS Proposed Amendments

The amendments propose changing market homes and social rent houses into stacked maisonettes.

These changes provide an additional 18 shared ownership homes and 9 social rented homes, contributing to 66% affordable housing across the First Development Site.

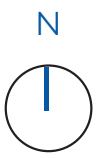
- Extra Care/Social Rent/Shared Ownership Single Aspect
- Shared Ownership
- Private
- Social Rent
- Shared Ownership Maisonettes & Affordable Rent Above



Proposed Tenure plan\_ Ground Floor



Proposed Tenure plan\_Typical Floor



## 2.2 Tenure Distribution

### S03 Proposed Amendments

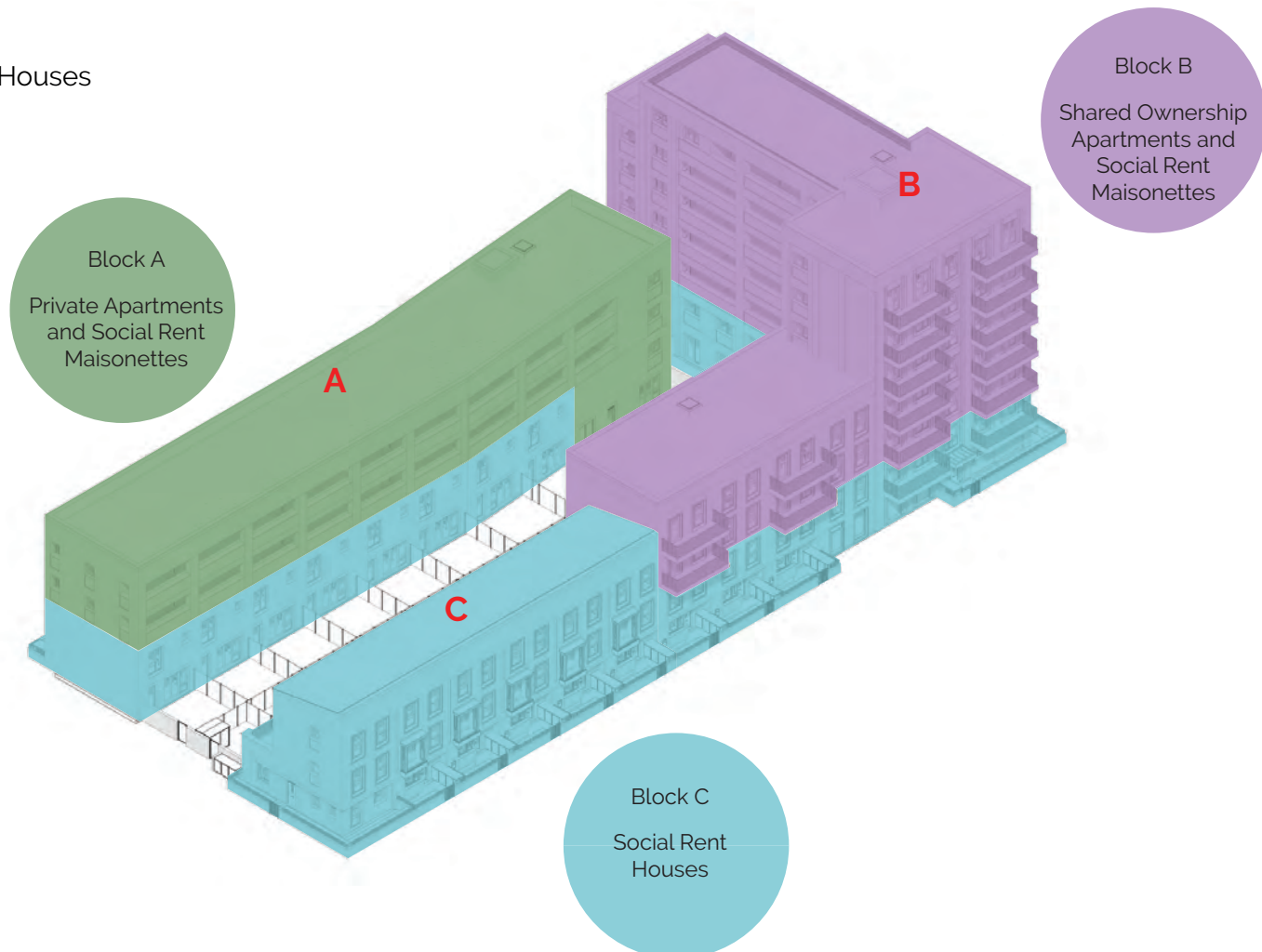
Subplot S03 consists of Social Rented maisonettes and houses on the ground floor level. Private sale apartments are located in Block A. Shared Ownership apartments in Block B.

The quantums are as followed:

**Block 3A**  
 8 Social Rented Maisonettes  
 11 Private Sale Apartments

**Block 3B**  
 6 Social Rented Maisonettes  
 24 Shared Ownership Apartments

**Block 3C**  
 6 Social Rented Houses



Subplot S03 Typical Floor Plan



Subplot S03 Ground Floor Plan



## 2.2 Tenure Distribution

### S04 Proposed Amendments

Subplot S04 contains a Private sale apartment block of 23 storeys, and 4 other apartment blocks with a mix of tenures with ground floor maisonettes.

The quantums are as followed:

**Block 4A**

129 Private Apartments

**Block 4B**

7 Private Maisonettes  
43 Private Apartments

**Block 4C**

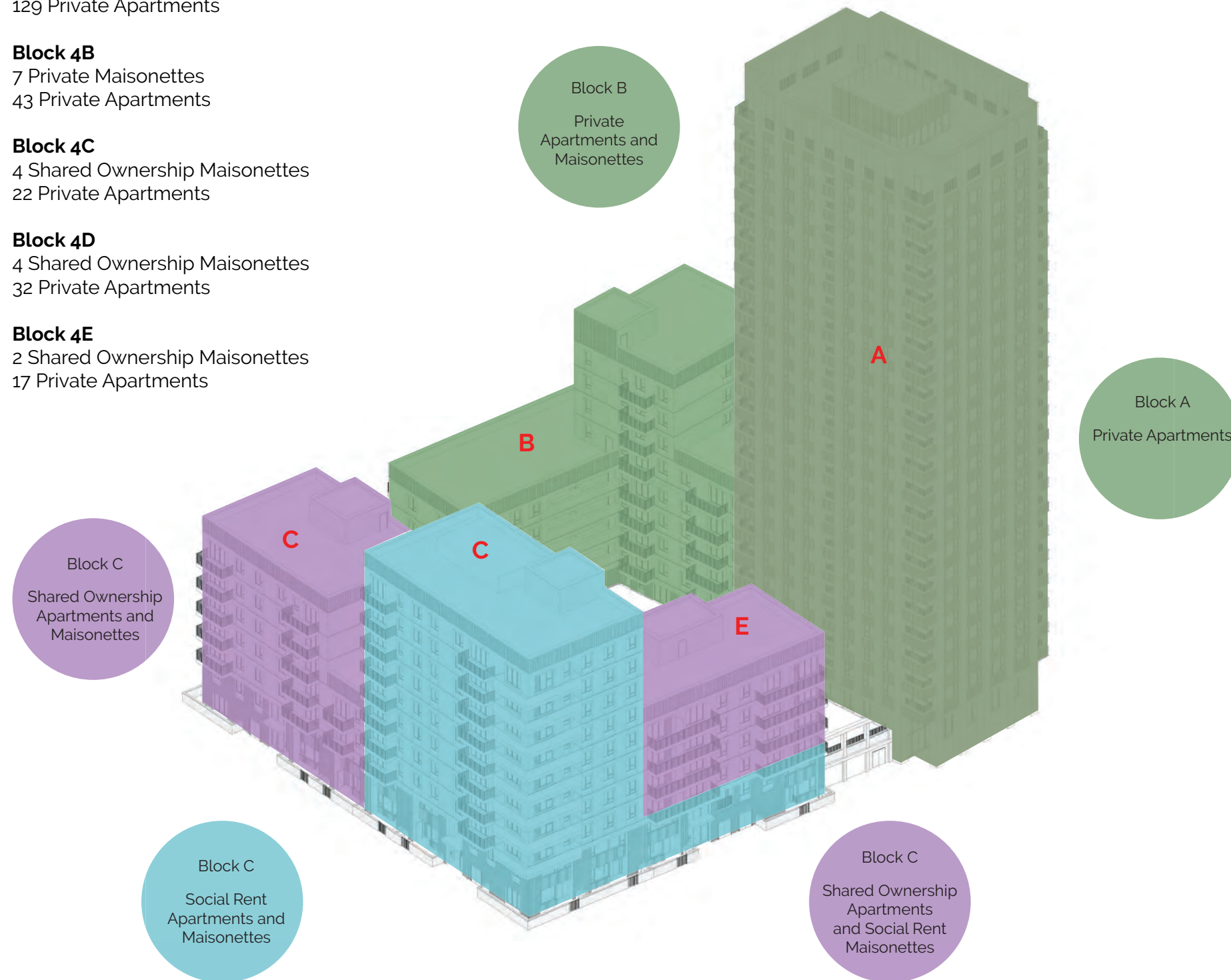
4 Shared Ownership Maisonettes  
22 Private Apartments

**Block 4D**

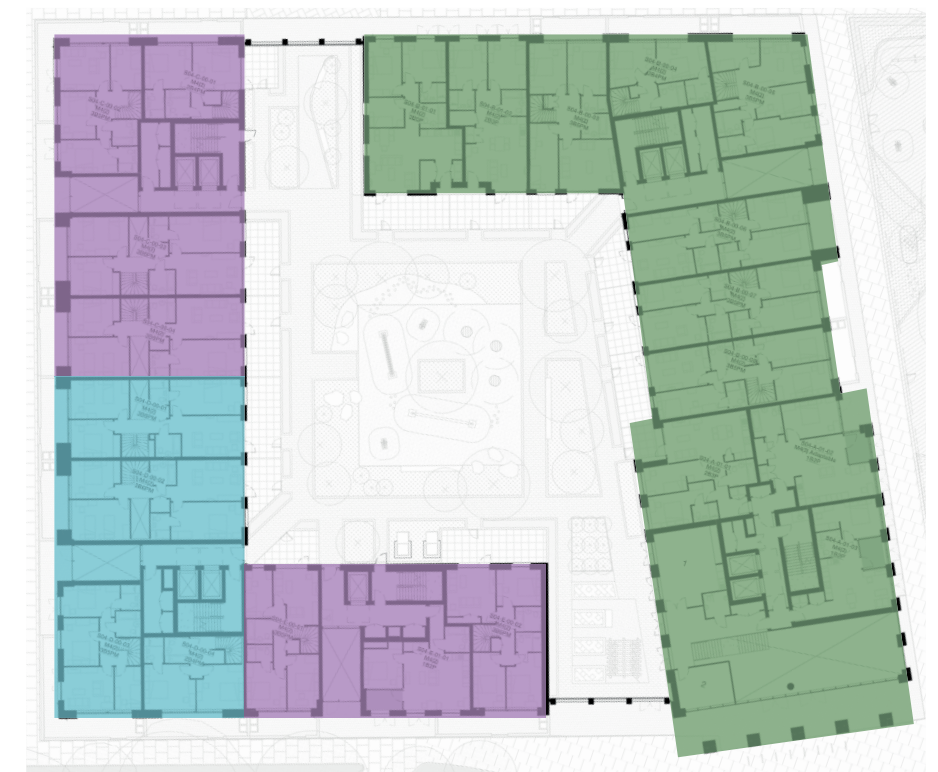
4 Shared Ownership Maisonettes  
32 Private Apartments

**Block 4E**

2 Shared Ownership Maisonettes  
17 Private Apartments



Subplot S04 Ground Floor Plan



Subplot S04 Typical Floor Plan

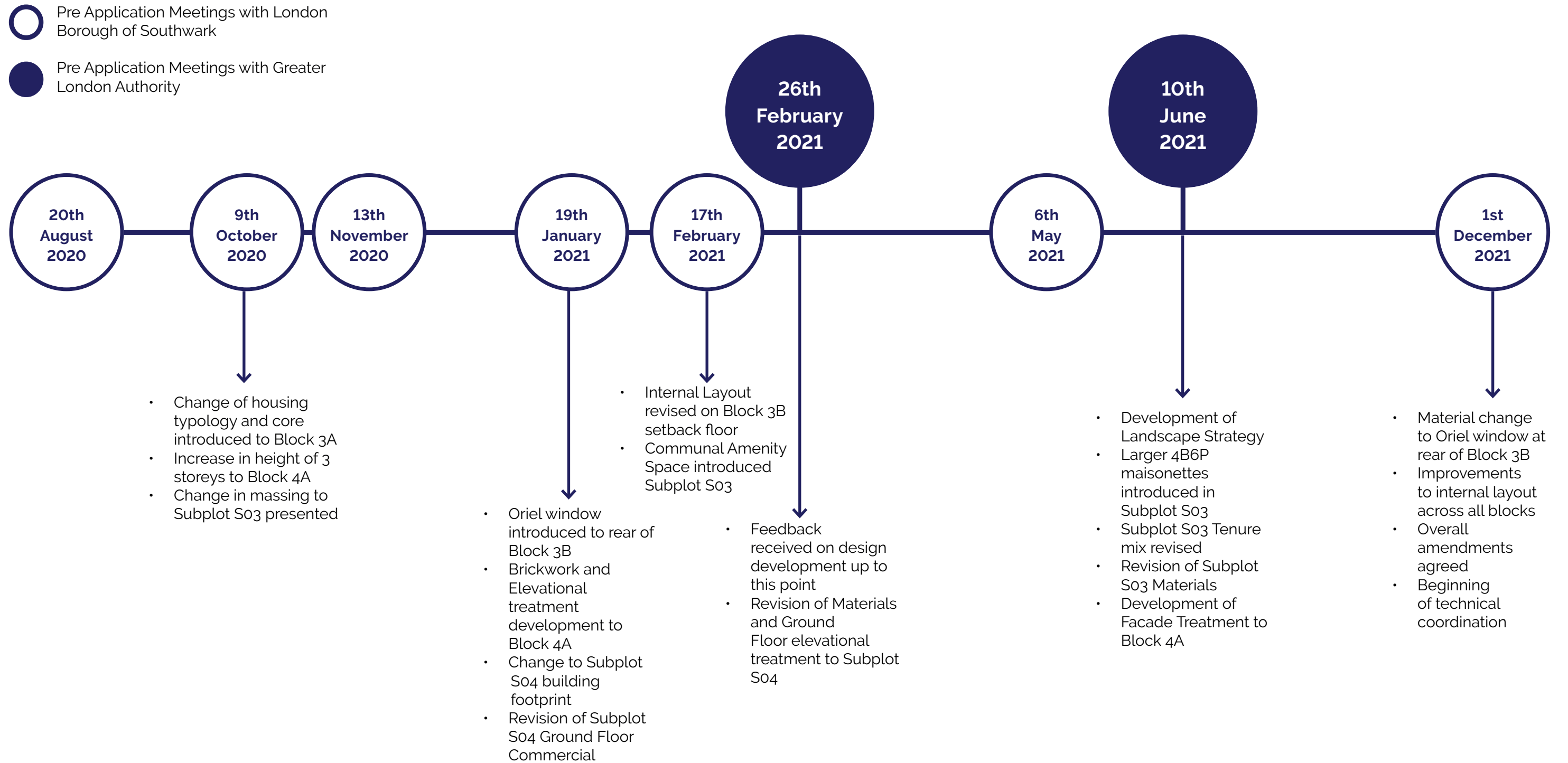






### 3.1 Pre Application Process

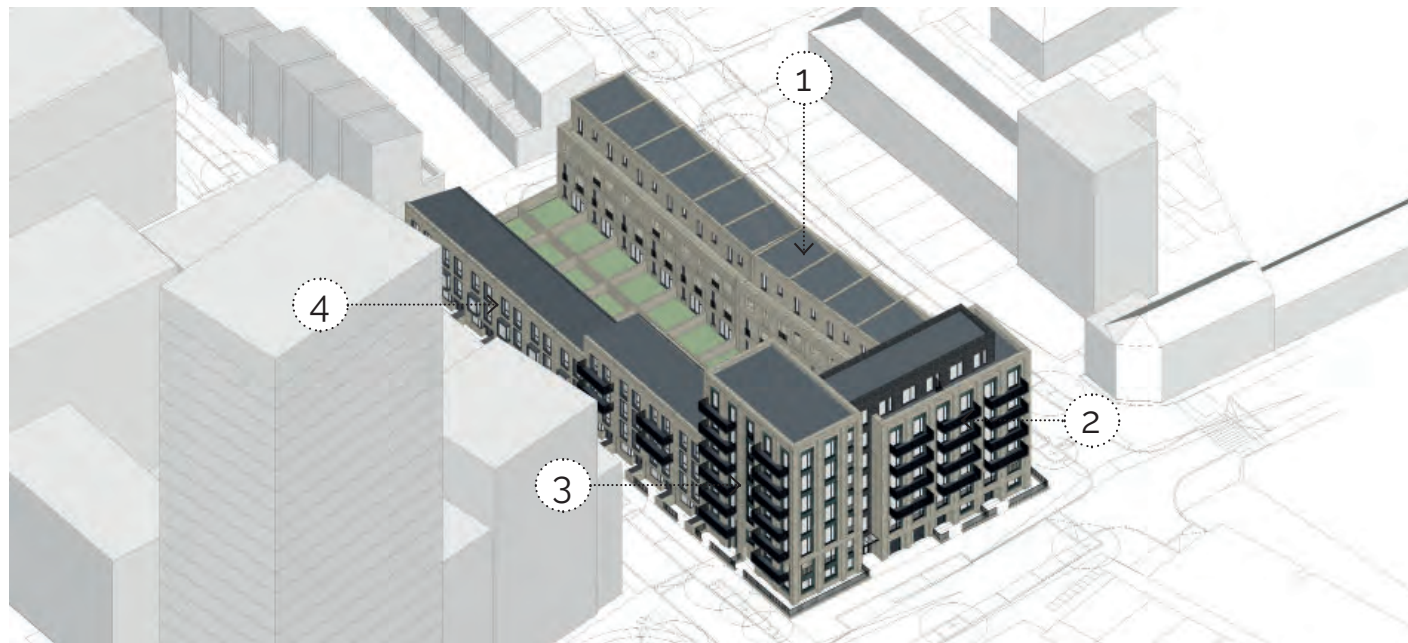
#### Timeline



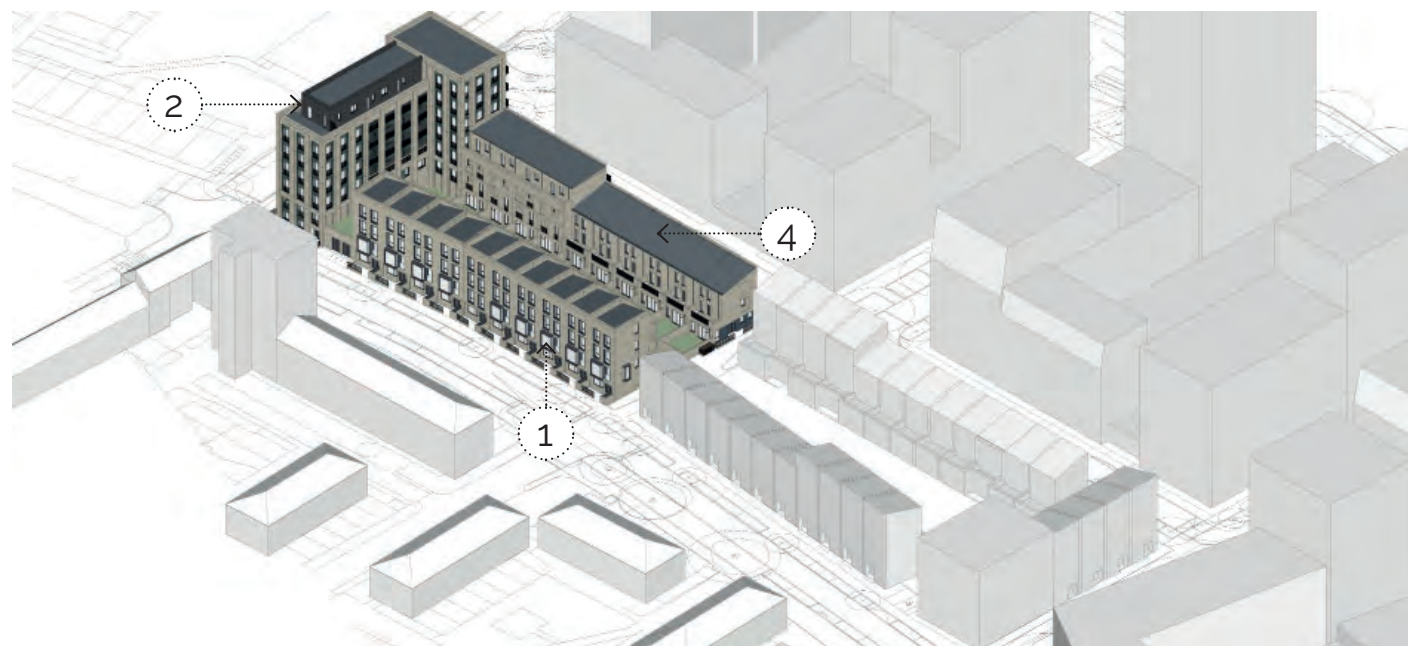
### 3.2 Subplot S03 Design Development

#### Massing Development

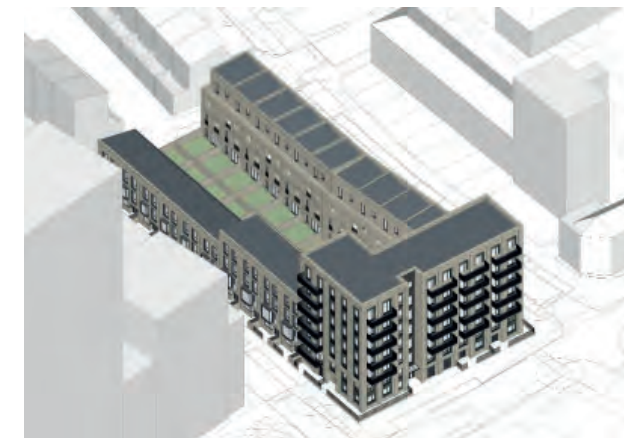
- 1 Block 3A: Partial increase of height (maisonettes & flats above)
- 2 Block 3B: Increase of height (+ 1 storey)
- 3 Block 3B: Projecting Balconies providing solar shading on the south
- 4 Building 3C: 6 houses retained



Proposed Scheme - Aerial view, South-East corner



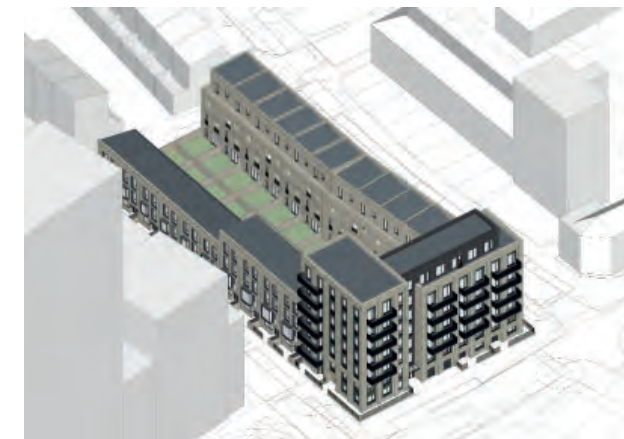
Proposed Scheme - Aerial view, North-West corner



Height Increase Option 1 - Aerial



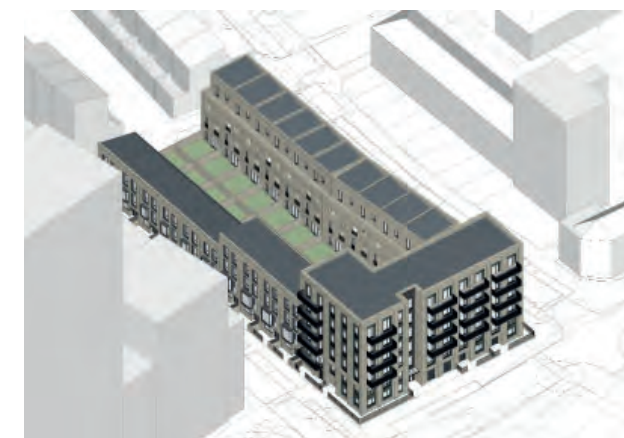
Height Increase Option 1 - East Elevation



Height Increase Option 2 - Aerial



Height Increase Option 2 - East Elevation



Height Increase Option 3 - Aerial



Height Increase Option 3 - East Elevation

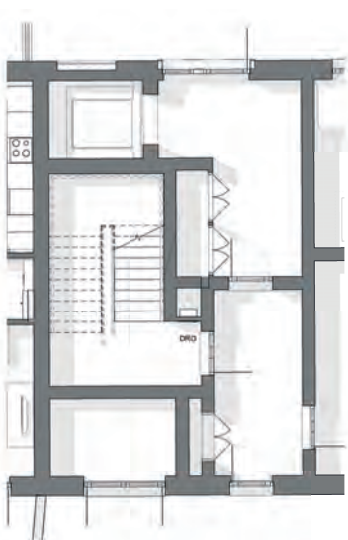
### 3.2 Subplot S03 Design Development

#### Block Core Arrangement

Introduction of Core to Block 3A



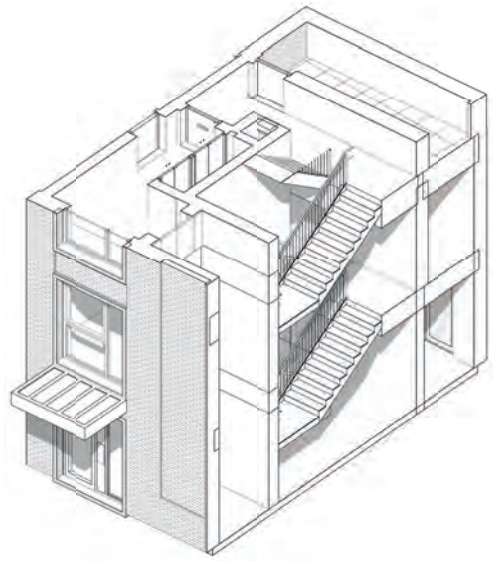
North Elevation



Ground Floor



First Floor

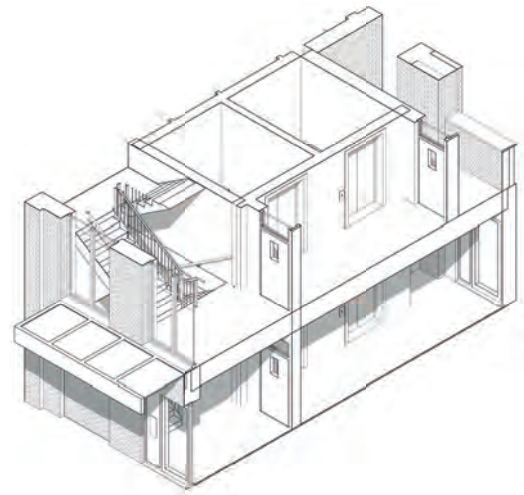


Axo view of Block 3A Core

Proposed Block 3B with additional lift



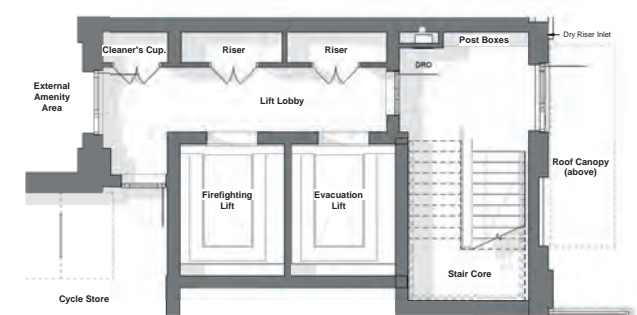
Proposed Block 3B with additional lift



Axo view of Block 3B Core



First Floor



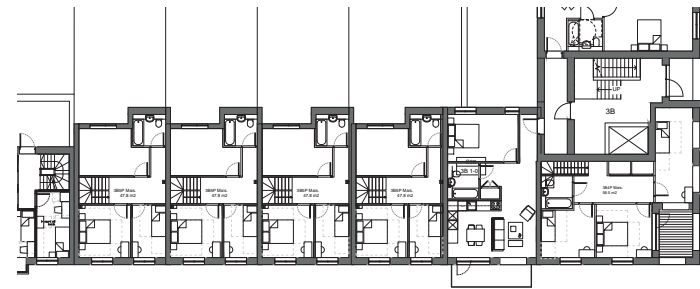
Ground Floor



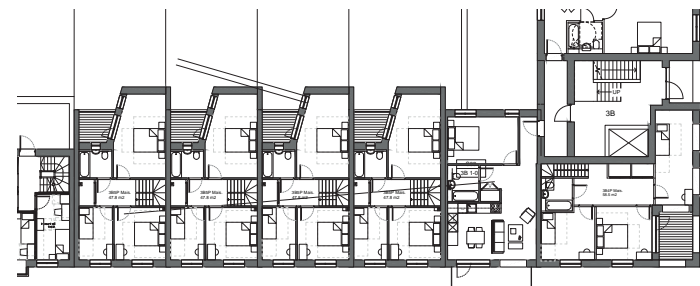
### 3.2 Subplot S03 Design Development

#### Oriel Windows

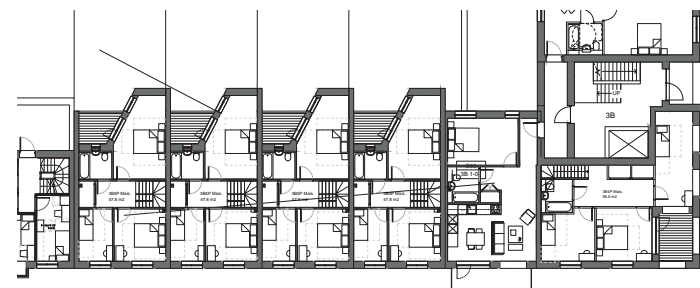
Options tested for oriel window



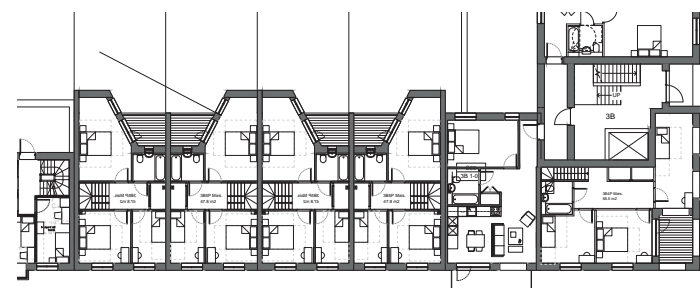
Option 1



Option 2

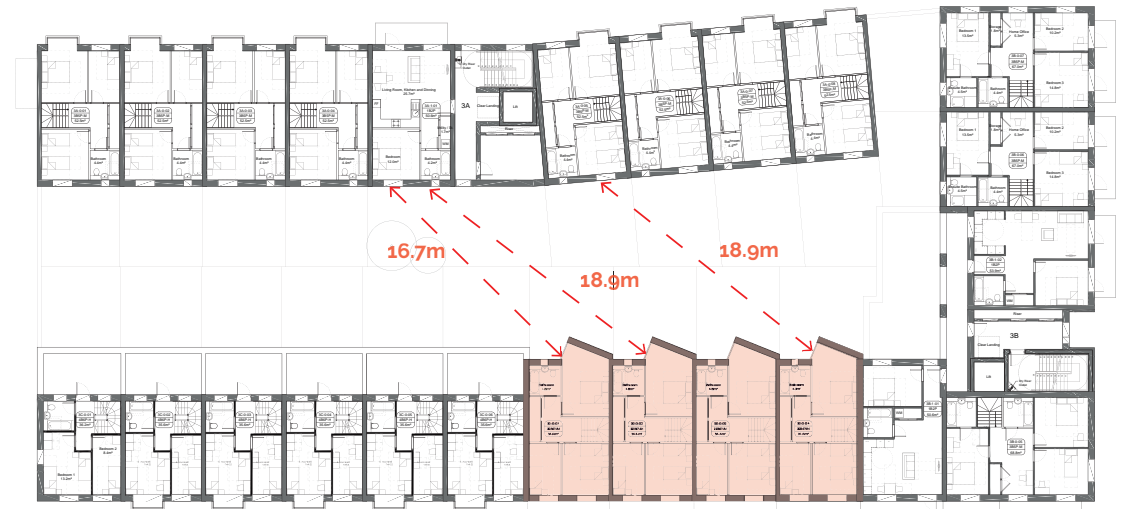


Option 3



Option 4

An oriel window was introduced to the Rear of Block 3B maisonettes in order to prevent overlooking of bedrooms on the first floor across the private amenity area.



First Floor Plan

← → Overlooking Distance

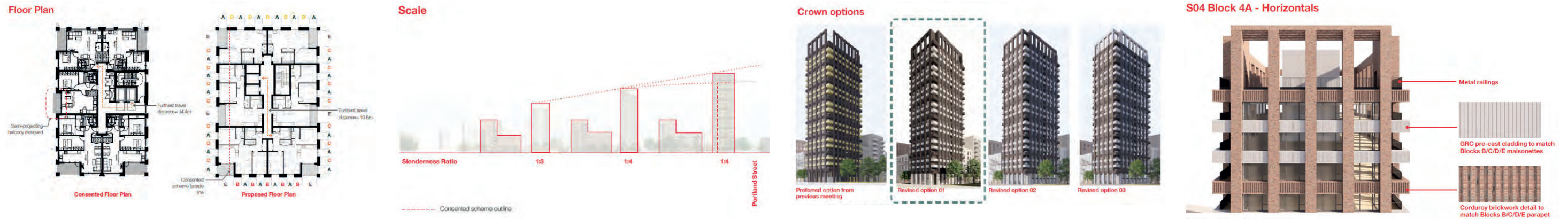
Daylight Testing for Oriel Window Options



### 3.3 Subplot S04 Design Development

#### Pre App Development

The amendments to the design of subplot S04 have been developed and refined through a series of pre-app meetings with LB Southwark and the GLA.



Pre-app 02  
LB Southwark  
09.10.2020

Meeting covered 4A slenderness, circulation and balcony corner treatment and 4B deck access.

Comments asked for comparison of tower height and character with adjacent plots, how to bring lightness to the corners and to consider narrower piers / wider windows.

Pre-app 03  
LB Southwark  
13.11.2020

Meeting responded to comments from previous pre-app showing tower in relation to adjacent plots, revised tower floor plan and elevation options. Additional renders to explain 4B deck defensible space and lightwell option. Revised car park layout and quantum to meet ITP London Plan and updated Approved Document M presented.

Planters preferred over lightwell to maximise daylight. Weave concept for tower well received but architecture needs refinement including crown articulation and reconsider gold metalwork.

Pre-app 04  
LB Southwark  
13.01.2021

Block 4A options presented to explore horizontal bands and columns to base in pre-cast and crown to tower joined with horizontals. 4B layout revised to relocated balcony from east elevation to the courtyard to improve relationship with 4A.

LBS question if pre-cast columns to base should be joined to create plinth and to explore brick colour and mix options. Not sure about use of cable mesh and would prefer flat bar railings.

Pre-app 05  
LB Southwark  
17.02.2021

Bricks for subplot S04 presented in relation to the wider FDS site palette. 4A concrete base / plinth options and brick detailing to horizontal bands / crown presented. Revised podium edge infill facades and updated maisonette frontages presented. New CGIs shown.

Developed design well received in general. 4A concrete plinth option preferred over unjoined columns.

### 3.3 Subplot S04 Design Development

#### Pre App Development

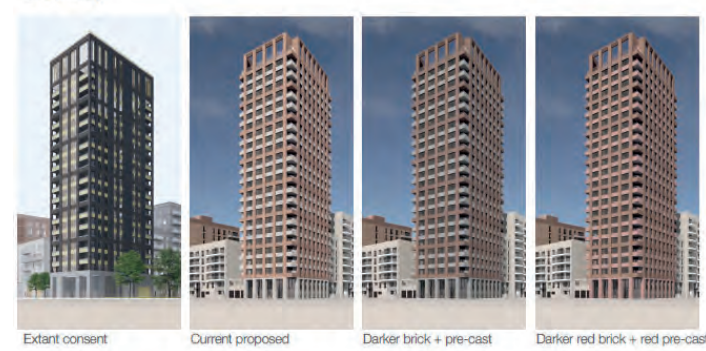
S04 External elevations - Block 4A



Proposed + cumulative schemes (400mm lens)



Summary



Pre-app 06  
GLA  
03.06.2021

Overview presentation made to the GLA summarising proposed amendments to subplot S03 and subplot S04 schemes.

Pre-app 07  
LB Southwark  
01.12.2021

Issue of block 4A visibility within the protected view of St Paul's Cathedral from Alexandra Palace presented. Case made that whilst an increase in height is proposed, the change in materiality away from black and gold to a more earthy tone helps with reading the St. Paul's towers.





## 4.1 Massing Overview

### Comparison of Extant Consent and Proposed Amendments

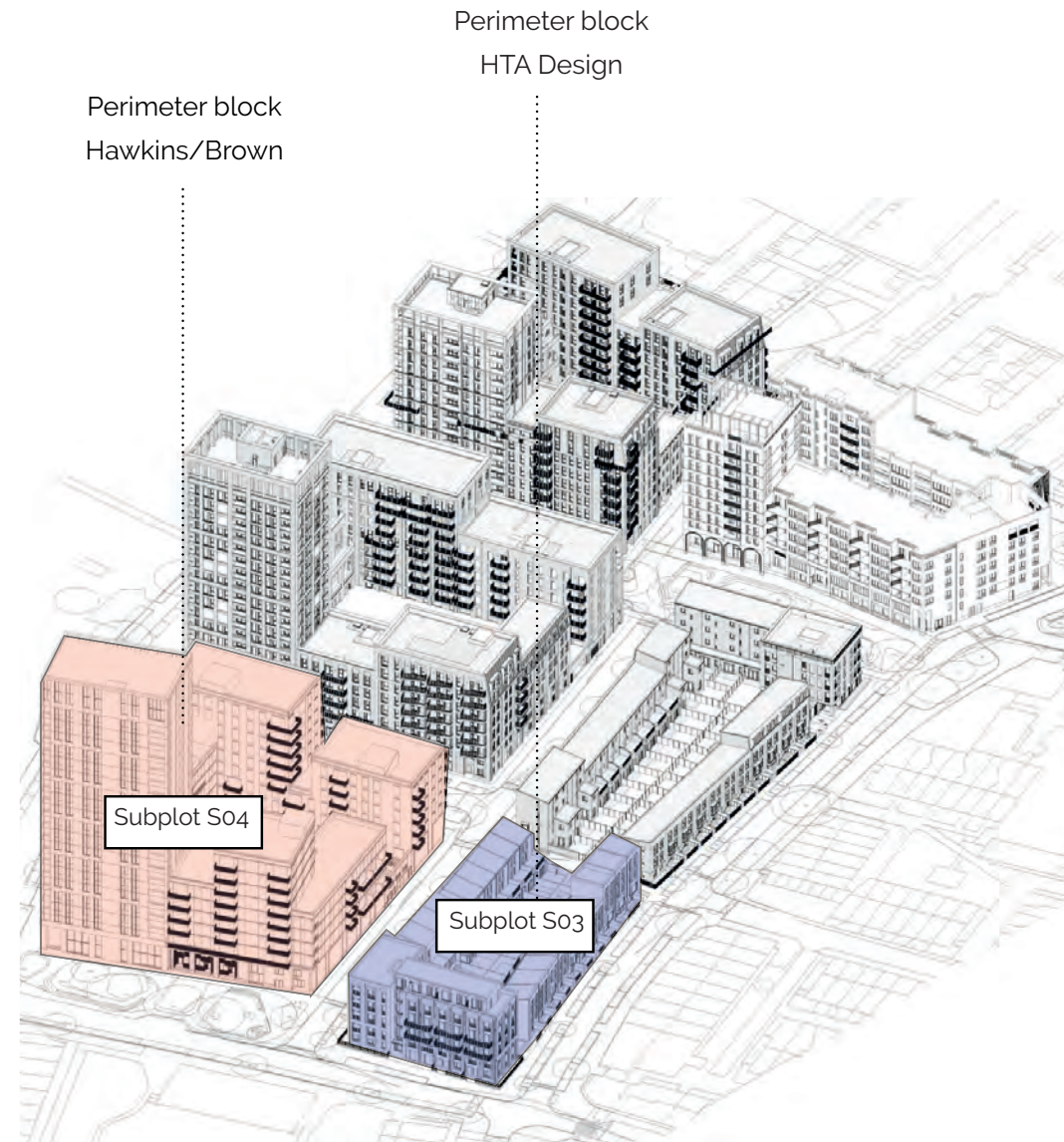
The Section 73 application for minor material amendments to the detailed planning consent for plots within the First Development Site (FDS) can be summarised as follows;

#### Subplot S03

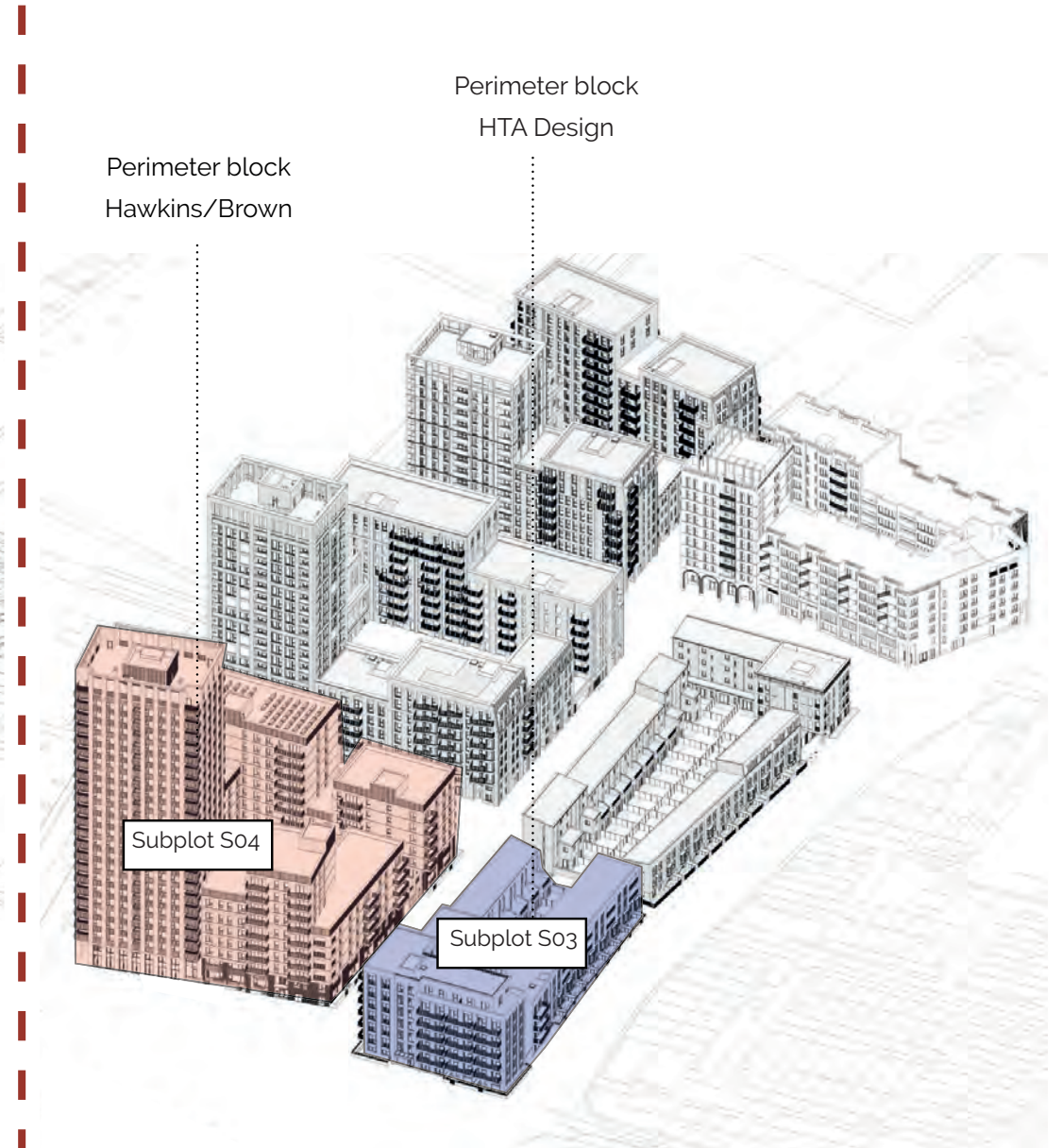
- Increase in height - Block 3A; partial increase from 3 to 4 storeys; Block 3B: from 6 to 7 storeys
- Retaining 6 3-storey 4B6P family houses

#### Subplot S04

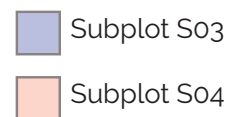
- Increase in height - Block 4A; from 20 to 23 storeys
- Increase in footprint of Block 4A to accommodate an additional home per floor.



Aerial view of Subplot S03 and S04 within the FDS site - Extant Consent



Aerial view of Subplot S03 and S04 within the FDS site - Proposed Amendments



## 4.2 Subplot S03 Massing

### Comparison of Extant Consent and Proposed Amendments

The amended proposal includes an increase in the amount of accommodation and results in minor changes to the massing.

#### Block 3A

The northern block includes maisonettes at the base and flats on the upper levels up to maximum of 4 storeys.

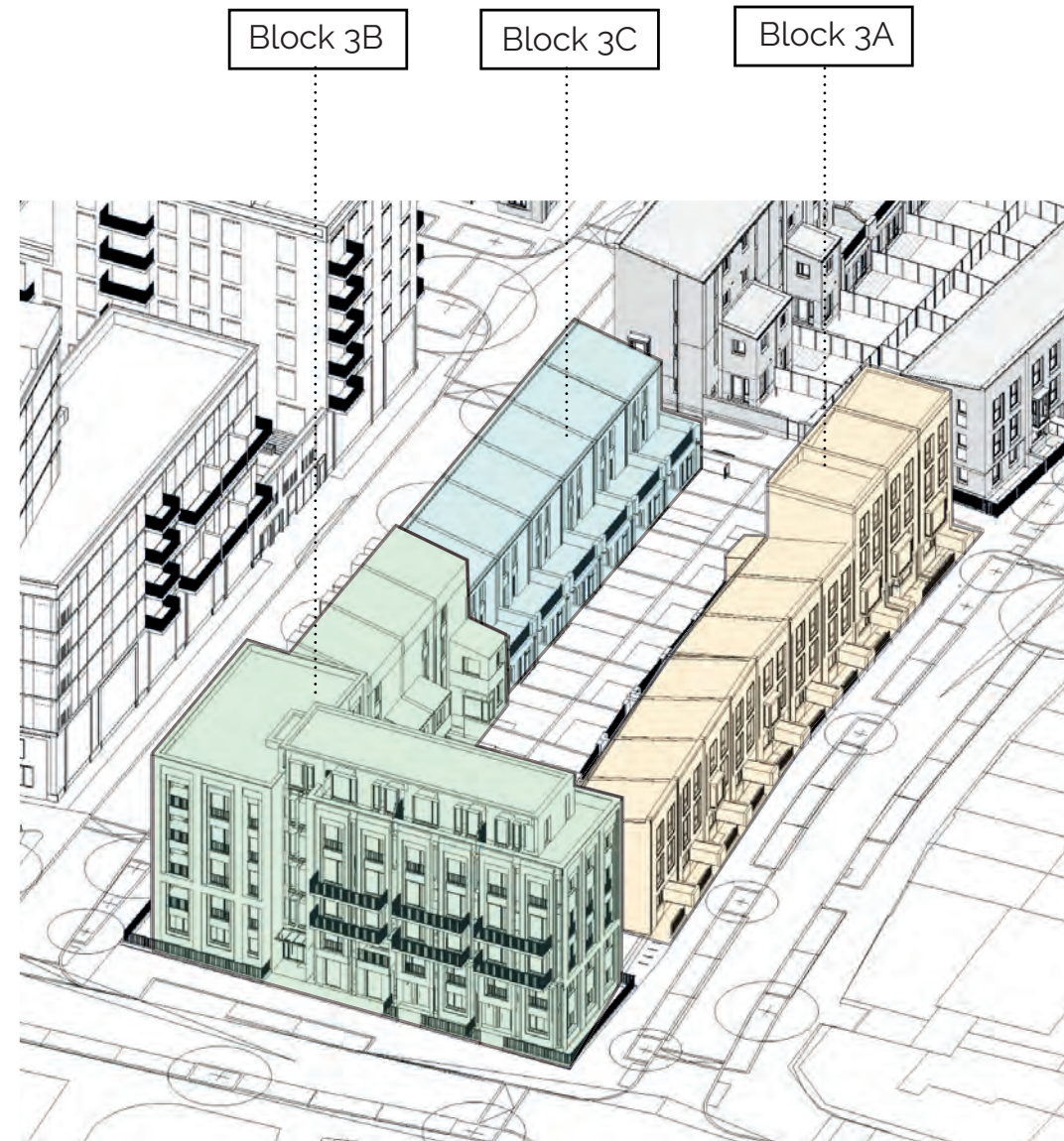
#### Block 3B

The height of the eastern block rises from 6 to 7 storeys and retains the setback on the uppermost floor. The eastern portion of the block remains at 4 storeys however now consists of maisonettes at ground floor with apartments above, with minor elevation changes as a result.

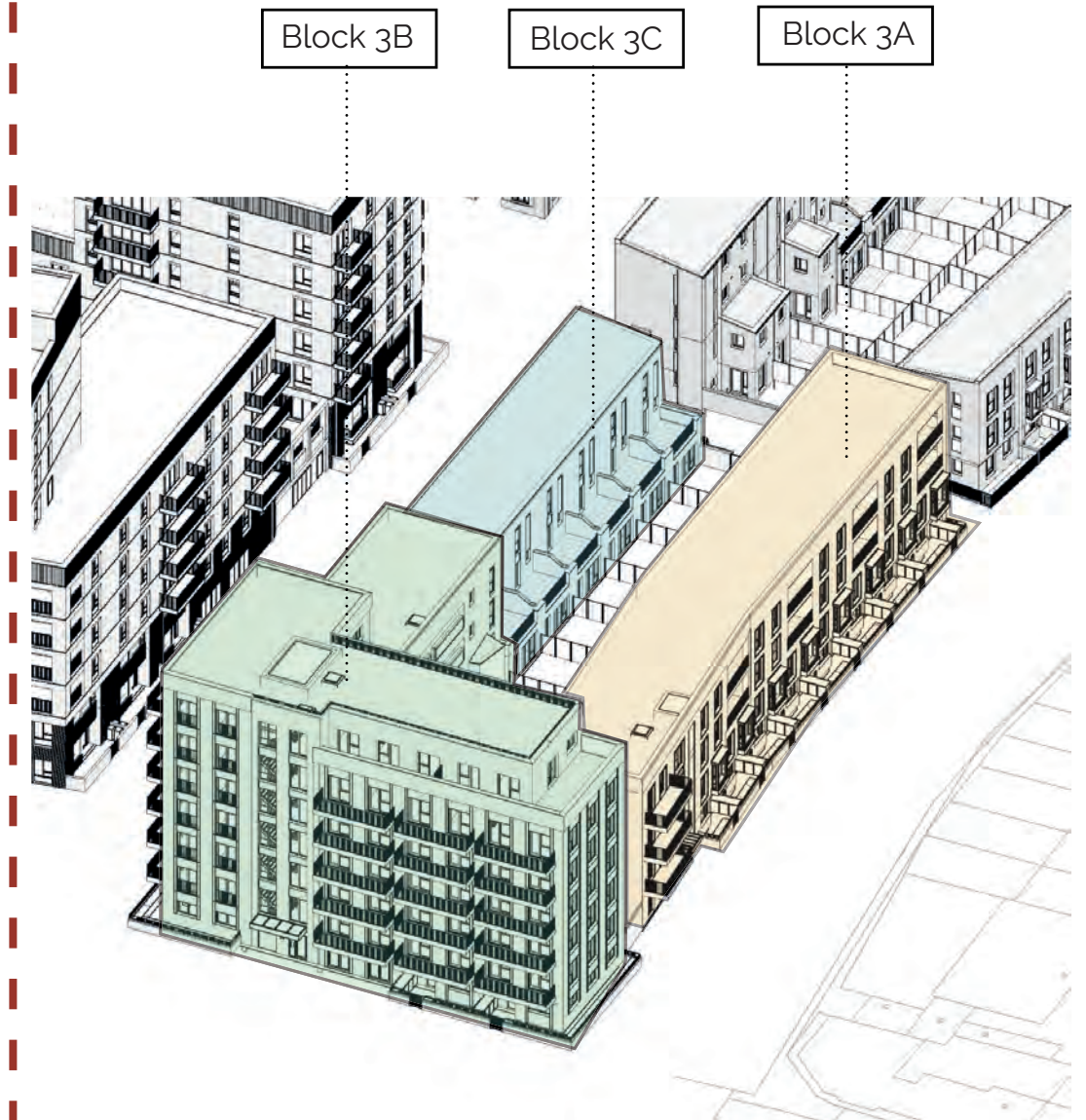
#### Block 3C

The massing of block 3C remains unchanged from the consented scheme and includes 6 three storey houses along New East West Street.

Additional cycle and bin storage has been provided at ground floor level in line with the increase in quantum of accommodation. A communal amenity space has also been introduced for Blocks 3A and 3B.



Aerial view of Subplot 3 - Extant Consent

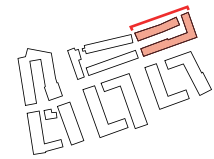


Aerial view of Subplot S03 - Proposed Amendments

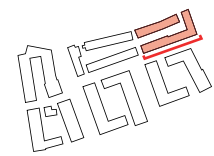
## 4.2 Subplot S03 Massing

### Comparison of Extant Consent and Proposed Elevations

EXTANT CONSENT



Westmoreland Road - North Elevation



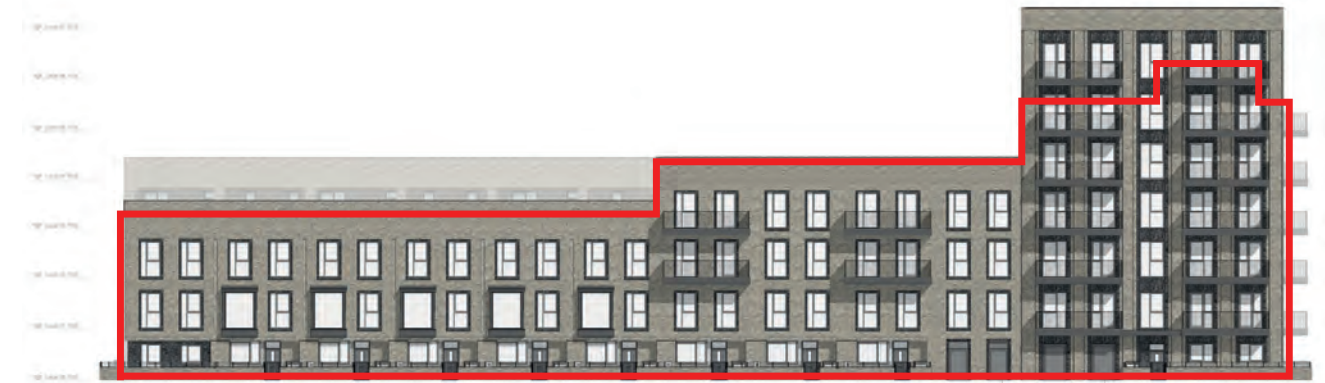
East West Street - South Elevation

PROPOSED AMENDMENTS



Westmoreland Road - North Elevation

\*Overall height increased by two courses of brick (+150mm) between 1st and 2nd Floor  
Parapet height revised to 1100mm



East West Street - South Elevation

\*Block 3B: Additional storey added; Parapet height revised to 1100mm  
Overall height increased by two courses of brick (+150mm) between 1st and 2nd Floor

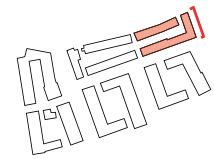
Extant Consent Outline 



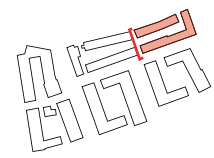
## 4.2 Subplot S03 Massing

### Comparison of Extant Consent and Proposed Elevations

#### EXTANT CONSENT



Portland Street - East Elevation



Phelps Mews - West Elevation

#### PROPOSED AMENDMENTS



Portland Street - East Elevation

\*Block 3B: Additional storey added  
Overall height increased by two courses of brick (+150mm) between 1st and 2nd Floor  
Parapet height revised to 1100mm



Phelps Mews - West Elevation

\*Block 3A: Parapet height revised to 1100mm  
Overall height increased by two courses of brick (+150mm) between 1st and 2nd Floor

## 4.4 Subplot S04 Massing

### Extant Consent

The proposed amendments to the consented scheme consists of changes to the built form and height to sub-plot 4. The original scheme for subplot S04 is described below.

#### Block 4A

The consented massing for block 4A was 20 storeys in height including apartments over the top 19 storeys and rooftop amenity space for residents.

#### Block 4B

The consented massing for block 4B included duplex maisonettes over ground and first floor with apartments on the upper levels to a maximum of 10 storeys in height. The West portion of the block was 6 storeys in height.

#### Block 4C

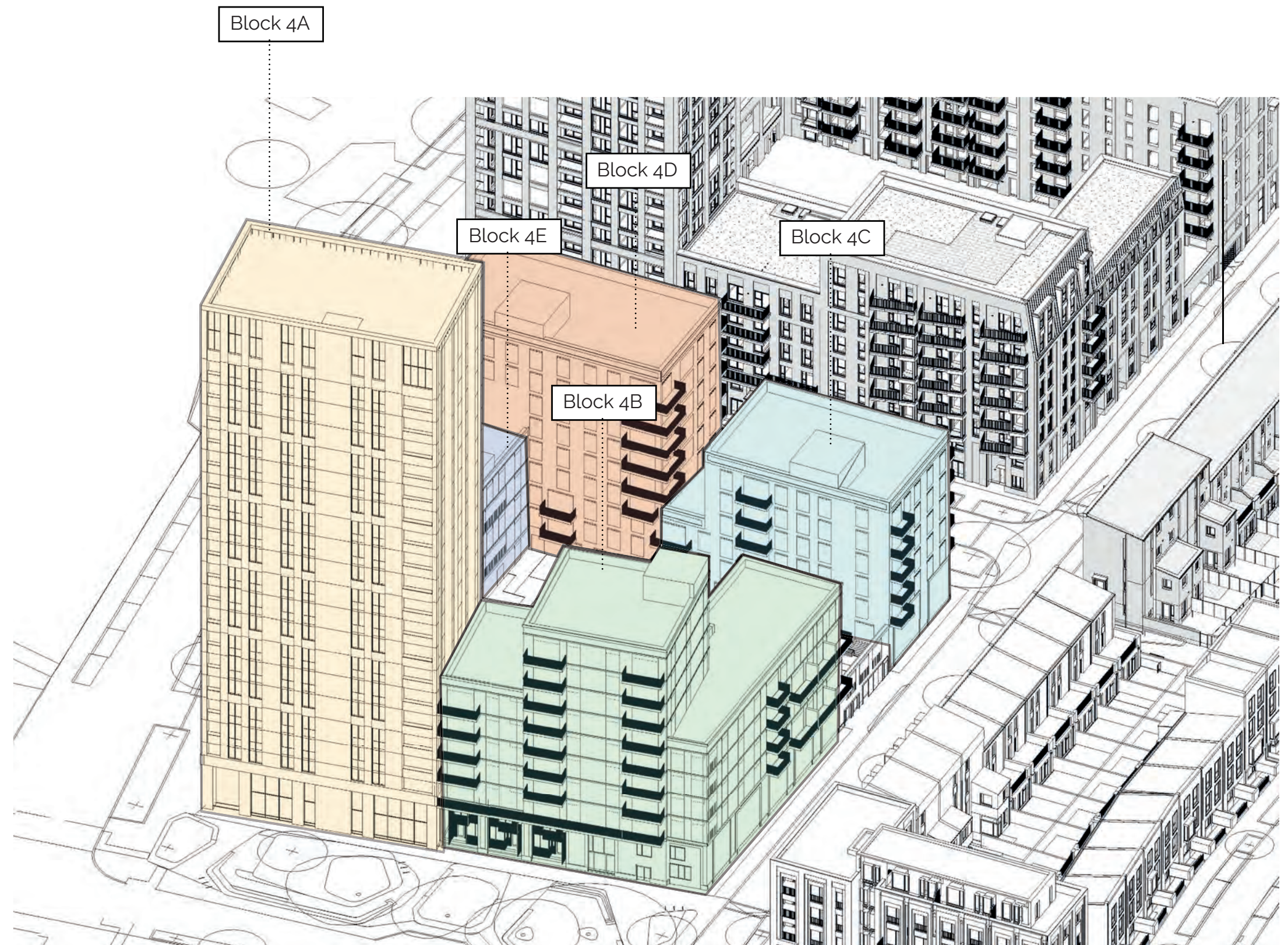
The consented massing for the block 4C included duplex maisonettes over ground and first floor with apartments on the upper levels to a maximum of 7 storeys in height.

#### Block 4D

The consented massing for block 4D included duplex maisonettes over ground and first floor with apartments on the upper levels to a maximum of 10 storeys in height.

#### Block 4E

The consented massing for block 4E included duplex maisonettes over ground and first floor with apartments on the upper levels to a maximum of 10 storeys in height.



Aerial view of Subplot S04 - Extant Consent

## 4.4 Subplot S04 Massing

### Proposed Amendments

The amended proposal includes an increase in the amount of accommodation and results in changes to the massing as described below.

#### Block 4A

A 3 storey increase in height is proposed to block 4A bringing the total height to 23 storeys including apartments over the top 22 storeys and rooftop amenity space for residents. The footprint of the tower has increase to accommodate an additional apartment per floor.

#### Block 4B

No changes in height are proposed to block 4B. There are minor alterations proposed to the footprint of block 4B to accommodate changes to the width of block 4A and a change from duplexes to lateral apartments in the West portion.

#### Block 4C

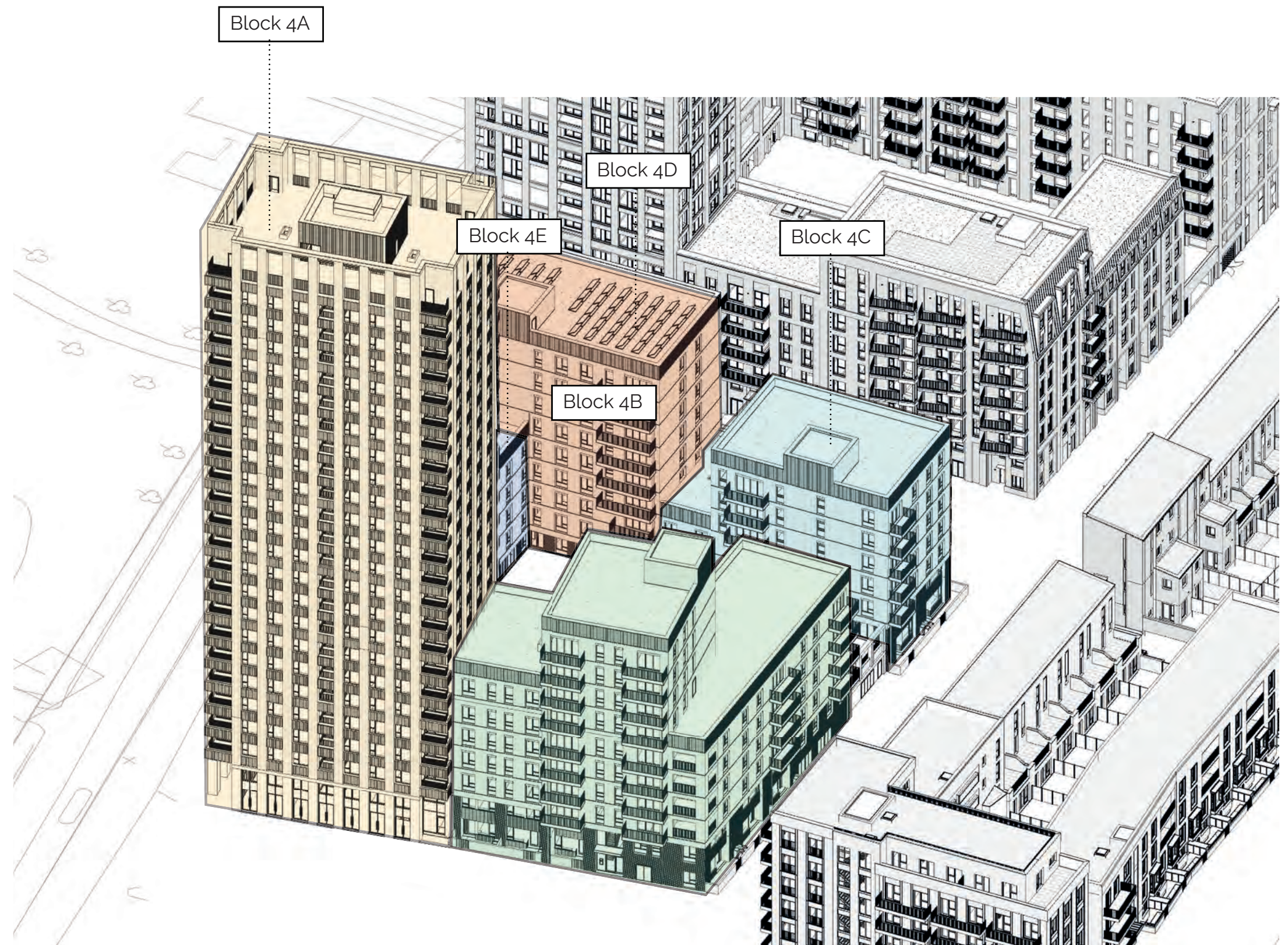
No massing changes are proposed to block 4C.

#### Block 4D

No massing changes are proposed to block 4D.

#### Block 4E

No massing changes are proposed to block 4E.

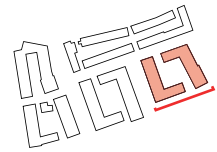


Aerial view of Subplot S04 - Proposed Amendments

### 4.3 Subplot S04 Massing

#### Comparison of Extant Consent and Proposed Elevations

EXTANT CONSENT



Albany Road - South Elevation

PROPOSED AMENDMENTS



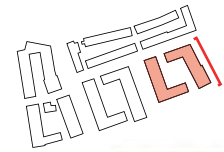
Albany Road - South Elevation

\*Block 4A: Additional 3 storeys added, Block 4D/4E: Parapet height revised to 1100mm

### 4.3 Subplot S04 Massing

#### Comparison of Extant Consent and Proposed Elevations

EXTANT CONSENT



Portland Street - East Elevation

PROPOSED AMENDMENTS



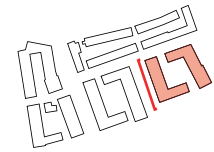
Portland Street - East Elevation

\*Block 4A: Additional 3 storeys added, Block 4B: Parapet height revised to 1100mm, level 06+ floor levels raised for flush access to roof terrace. Massing changed to coordinate with maisonettes.

### 4.3 Subplot S04 Massing

#### Comparison of Extant Consent and Proposed Elevations

EXTANT CONSENT



East West Street - North Elevation

PROPOSED AMENDMENTS



East West Street - North Elevation

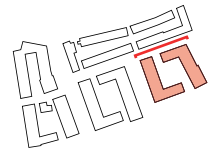
\*Block 4B: Parapet height revised to 1100mm, level O6+ floor levels raised for flush access to roof terrace. Block 4C: Parapet height revised to 1100mm.

Extant Consent Outline

### 4.3 Subplot S04 Massing

#### Comparison of Extant Consent and Proposed Elevations

EXTANT CONSENT



North South Street - West Elevation

PROPOSED AMENDMENTS



North South Street - West Elevation

\*Block 4B/4C: Parapet height revised to 1100mm







# 5.1 FDS Site Layout

## Ground Floor Plan

These pages highlight the areas under review for this S73 Amendment Application. The locations of Subplots S03 and S04 within the First Development Site are shown on the plans presented here.



— FDS Boundary Line

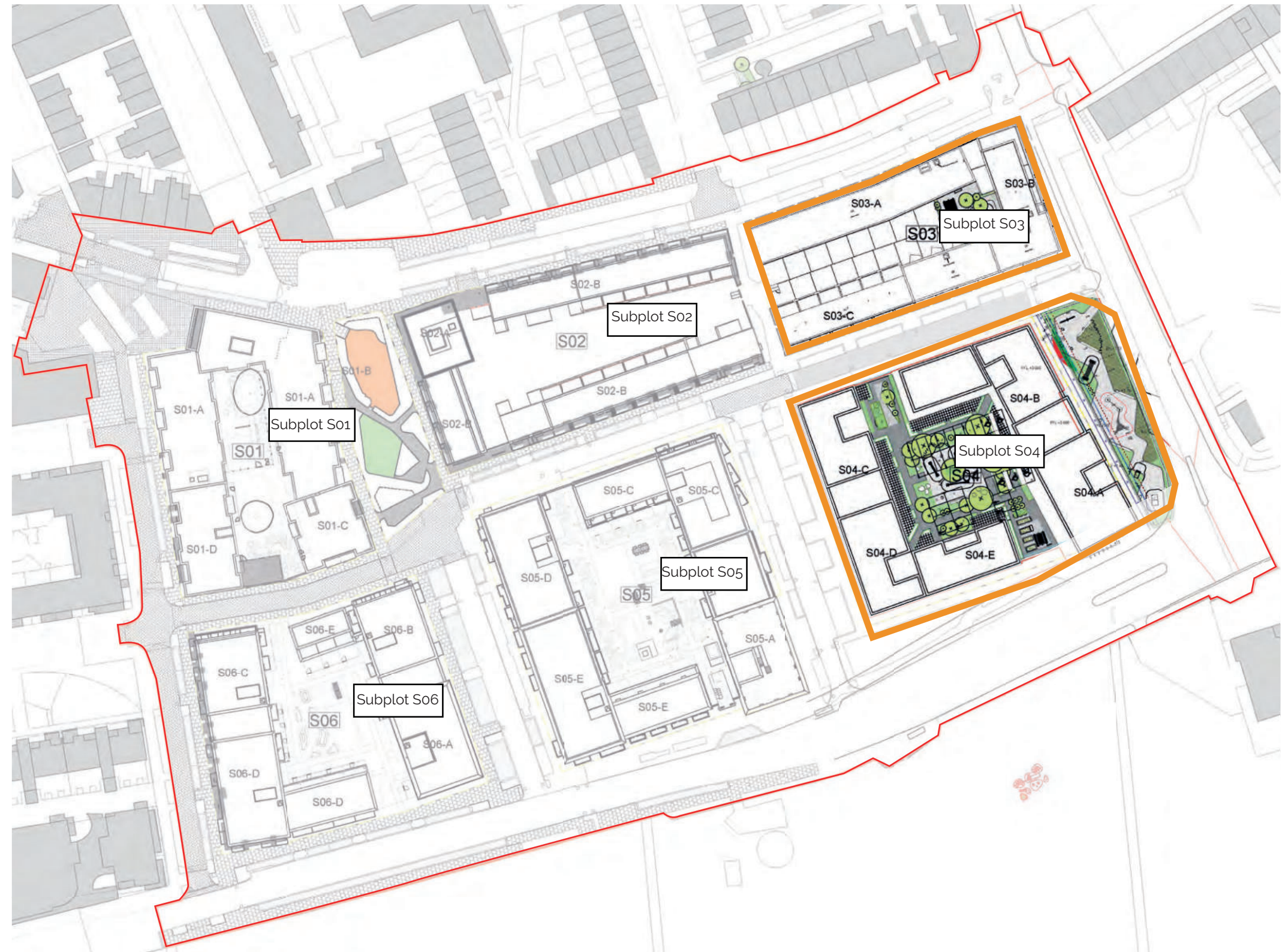
FDS Site Layout - Extant Consent

□ FDS C Illustrative Boundary



# 5.1 FDS Site Layout

## Typical Floor Plan



— FDS Boundary Line

□ FDS C Illustrative Boundary

FDS Site Layout - Proposed Amendments



## 5.2 Subplot S03 Plans

### Extant Consent

- 01 5B7P Houses
- 02 4B6P Houses
- 03 3B6P Maisonettes
- 04 Bin store, bike store and plant room
- 05 Core
- 06 1B2P Flat over bin store, bike store and plant
- 07 1B2P Flats
- 08 1B2P Flats with recessed balcony
- 09 2B4P Duplex flats



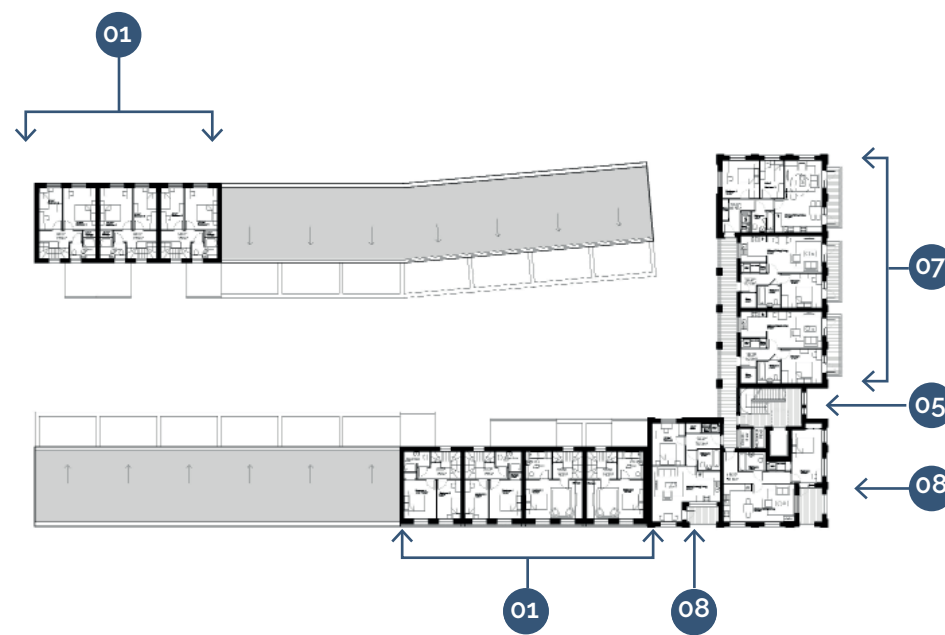
Ground Floor Plan



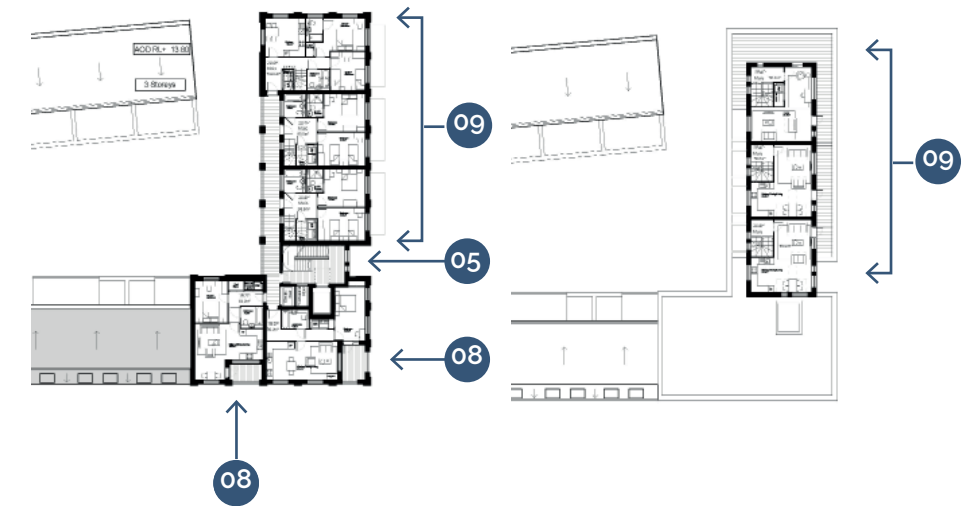
First Floor Plan



Second Floor Plan



Third Floor Plan



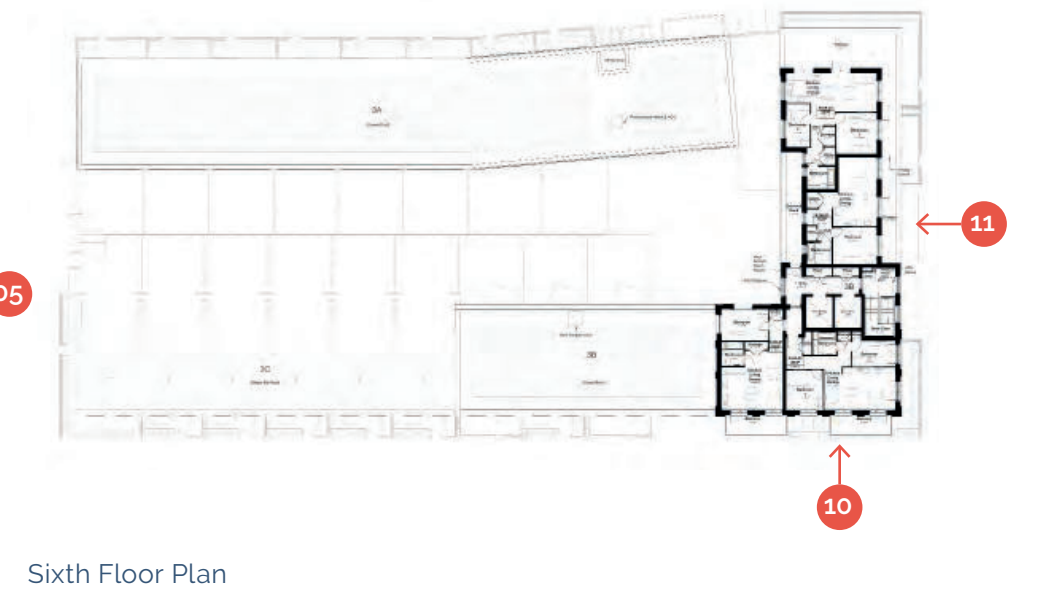
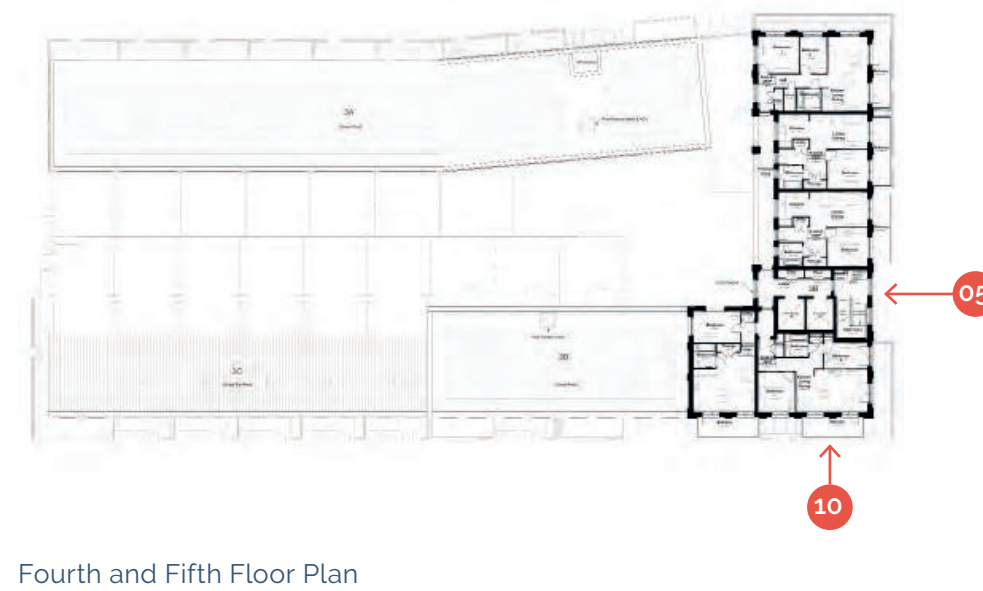
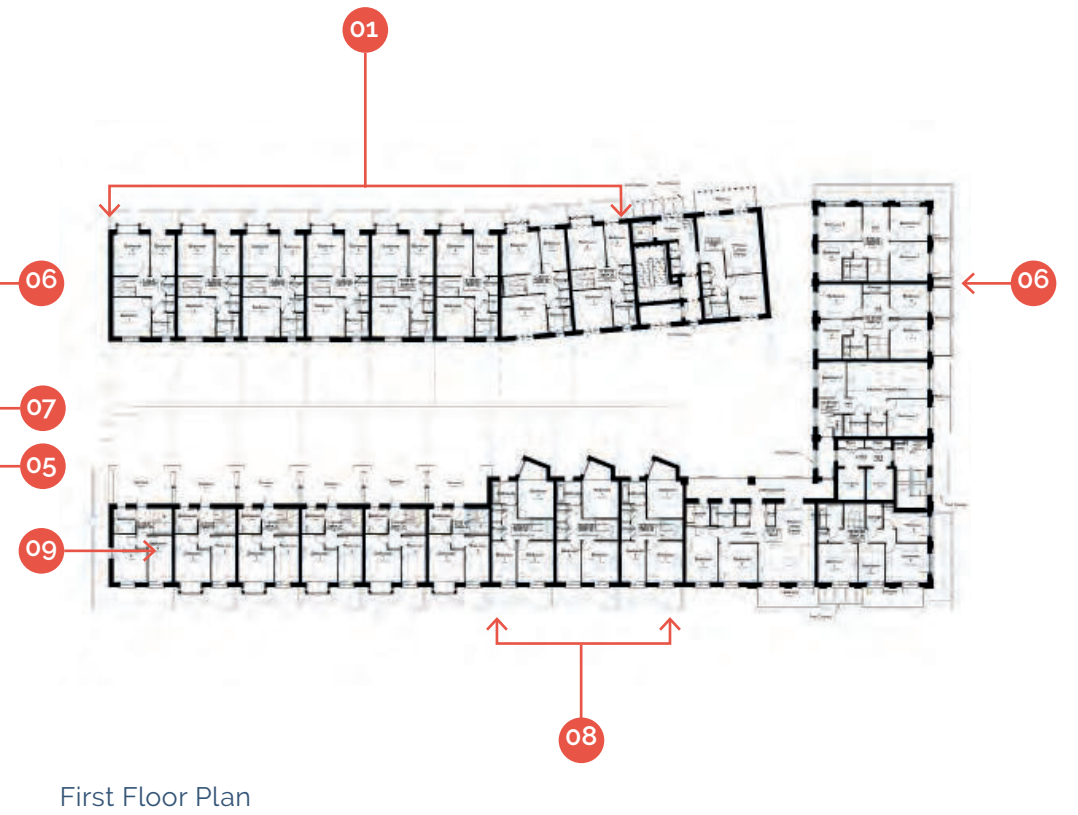
Fourth Floor Plan

Fifth Floor Plan

## 5.2 Subplot S03 Plans

### Proposed Amendments

- 01 3B5P Maisonettes
- 02 Introduction of a communal core to serve new apartments added above
- 03 Bin and Bike store area added
- 04 Provision of a communal amenity space
- 05 Core layout revised to include additional lift and refuge space
- 06 4B6P Maisonettes
- 07 Bin and bike store areas rationalised
- 08 Houses replaced by maisonettes with flats above
- 09 Improved internal layout
- 10 New floor added
- 11 5B7P Houses retained



### 5.3 Subplot S04 Plans

#### Extant Consent

- 01 Core
- 02 Bin store
- 03 Bike store
- 04 Plant room
- 05 Podium car park
- 06 Duplex maisonettes
- 07 Lateral apartments
- 08 Access deck



Basement Plan

Ground Floor Plan



First Floor Plan



Fourth Floor Plan



Sixth Floor Plan



Ninth Floor Plan

## 5.3 Subplot S04 Plans

### Proposed Amendments

- 01** Revised 4A tower layout including core moved to centre
- 02** Revised car park layout
- 03** Additional substation
- 04** Revised bike, bin store and plant rooms including omission of 4A basement
- 05** 2no. maisonettes replaced with 2no. lateral apartments at first floor
- 06** Ground floor commercial space included
- 07** Bulky waste store added
- 08** Community room added
- 09** Upper duplex apartments replaced with lateral apartments
- 10** Minor alterations to lateral apartments
- 11** Minor alterations to 4B footprint
- 12** Revised fire strategy with additional lobbies and refuges



Ground Floor Plan



First Floor Plan



Fourth Floor Plan



Sixth Floor Plan



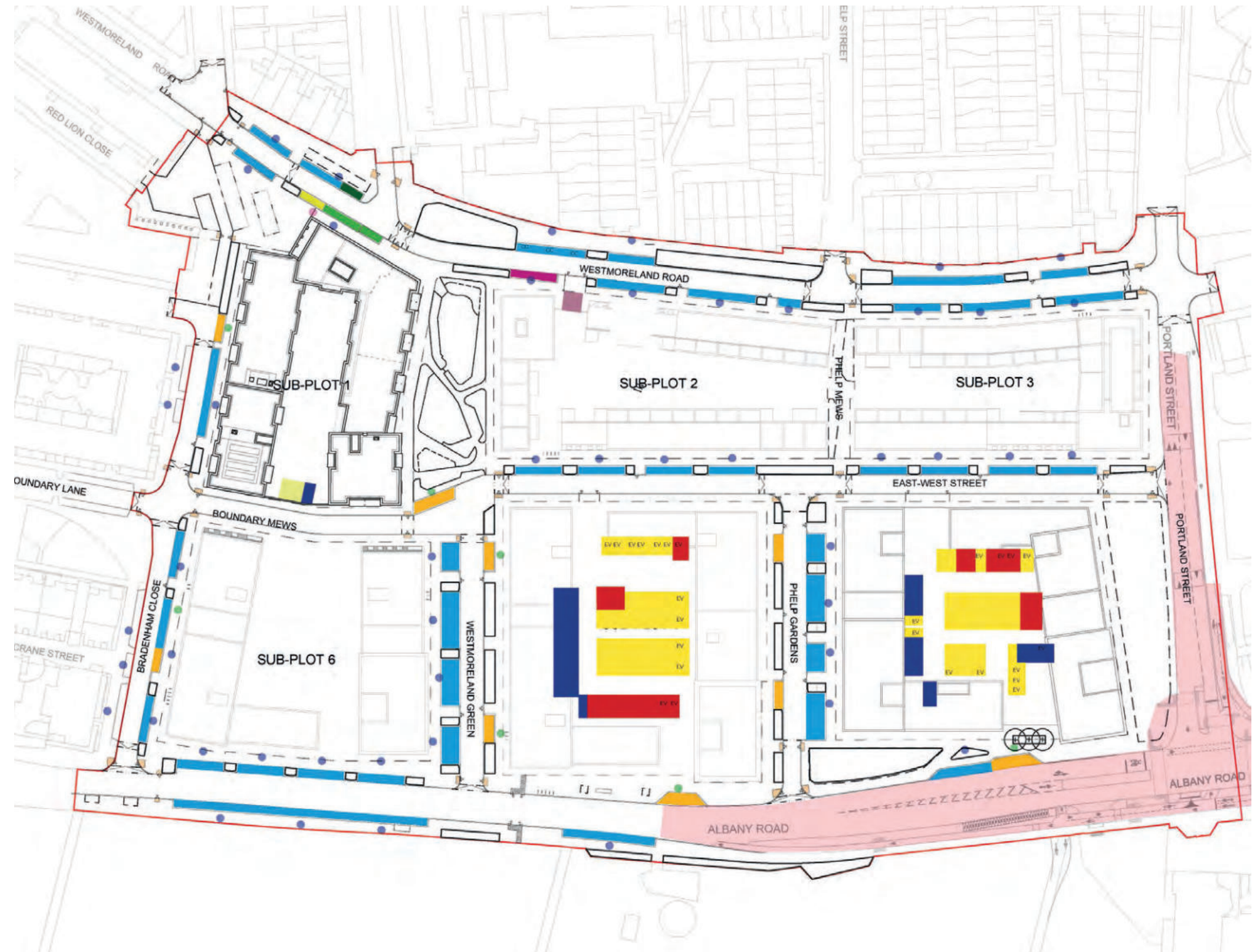
Ninth Floor Plan

# 5.4 FDS Car Parking Strategy

## Extant Consent

<span style="color: blue;">■</span> Affordable Standard Spaces (excl. EC & LD)	<b>117</b>
<span style="color: darkblue;">■</span> Affordable Wheelchair within Block 4, 5 and 1	<b>20</b>
<span style="color: gold;">■</span> Private Sale Standard Spaces Block 4	<b>32</b>
<span style="color: yellow;">■</span> Private Sale Standard Spaces Block 5	<b>45</b>
<span style="color: red;">■</span> Private Wheelchair Block 4 & 5	<b>20</b>
<span style="color: lightgreen;">■</span> Extra Care Spaces	<b>2</b>
<span style="color: green;">■</span> Extra Care Doctor Spaces	<b>2</b>
<span style="color: darkgreen;">■</span> Extra Care Drop Off	<b>2</b>
<span style="color: yellowgreen;">■</span> Ambulance Parking	<b>1</b>
<span style="color: brown;">■</span> Learning Difficulties	<b>2</b>
<span style="color: maroon;">■</span> Learning Difficulties Drop Off	<b>2</b>
<span style="color: orange;">■</span> Loading Bays	<b>9</b>

<b>Summary</b>	
Off Street Spaces	<b>121</b>
On Street Spaces	<b>133</b>
Wheelchair Spaces	<b>40</b>
<b>Total Spaces</b>	<b>254</b>



FDS Car Parking Layout - Extant Consent



# 5.4 FDS Car Parking Strategy

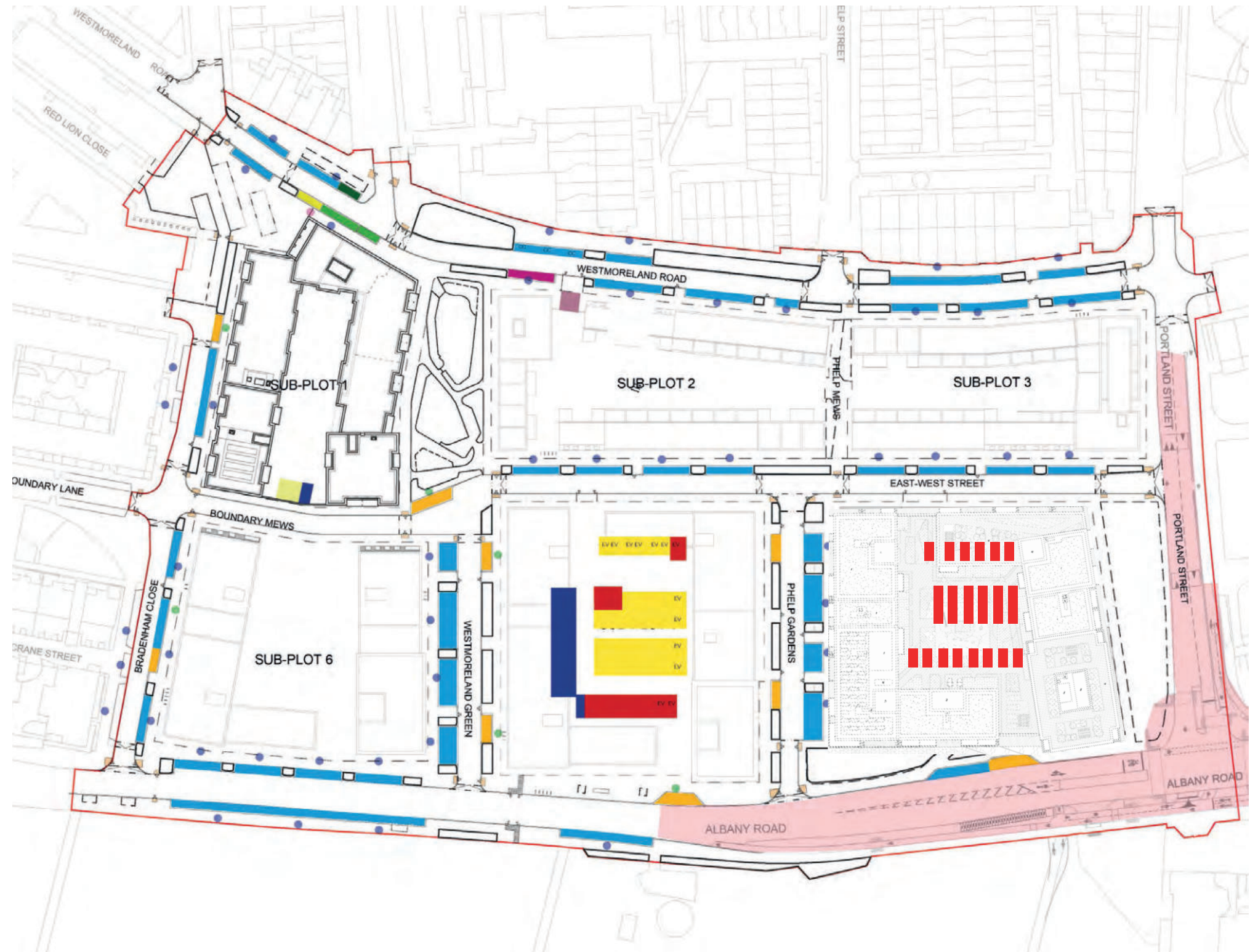
## Proposed Amendments

### Proposed Amendments

The proposed amendments make no changes to on street parking. The following changes occur within Subplot S04 podium: **-5 affordable wheelchair spaces /-7 private wheelchair spaces, -5 private standard spaces**

<span style="color: blue;">■</span> Affordable Standard Spaces (excl. EC & LD	<b>117</b>
<span style="color: darkblue;">■</span> Affordable Wheelchair within Block 4, 5 and 1	<b>15 (-5)</b>
<span style="color: gold;">■</span> Private Sale Standard Spaces Block 4	<b>27 (-5)</b>
<span style="color: yellow;">■</span> Private Sale Standard Spaces Block 5	<b>45</b>
<span style="color: orange;">■</span> Private Wheelchair Block 4 & 5	<b>13 (-7)</b>
<span style="color: lightgreen;">■</span> Extra Care Spaces	<b>2</b>
<span style="color: green;">■</span> Extra Care Doctor Spaces	<b>2</b>
<span style="color: darkgreen;">■</span> Extra Care Drop Off	<b>2</b>
<span style="color: yellowgreen;">■</span> Ambulance Parking	<b>1</b>
<span style="color: brown;">■</span> Learning Difficulties	<b>2</b>
<span style="color: maroon;">■</span> Learning Difficulties Drop Off	<b>2</b>
<span style="color: orange;">■</span> Loading Bays	<b>9</b>

Summary	
Off Street Spaces	<b>120 (-17)</b>
On Street Spaces	<b>133</b>
Wheelchair Spaces	<b>28 (-12)</b>
<b>Total Spaces</b>	<b>237 (-17)</b>



FDS Car Parking Layout - Proposed Amendments

## 5.4 FDS Car Parking Strategy

### Subplot S04 Podium Parking



Subplot S04 Proposed Amendments Outlet  
3% Wheelchair Parking Space Provision



Subplot S04 Proposed Amendments Adapted  
Adapted to provide 10% Wheelchair Parking Space Provision

	CAR PARKING PROVISION - SUMMARY					Total
	Off Street		On Street			
	Wheelchair	Standard	Wheelchair	Standard	Loading Bay	
<b>Sub-plot 3</b>	0	0	0	8	0	8
<b>Sub-plot 4 (Outlet Option)</b>	8	27	0	18	1	54
<b>Sub-plot 4 (Adapted Option)</b>	26	0	0	18	1	45
<b>Total FDS-C - (with Outlet Option)</b>	8	27	0	26	1	62
<b>Total FDS-C - (with Adapted Option)</b>	26	0	0	26	1	53

FDS C Car Parking Summary

## 5.5 Access and Circulation Strategy

### FDS C

This plan highlights private entrances to houses maisonettes, communal core access and vehicular access to podium parking.

- Block 3A Main Entrance (Serves 11 apartments)
- Block 3B Main Entrance (Serves 32 apartments)
- Block 4A Main Entrance (Serves 129 apartments)
- Block 4B Main Entrance (Serves 43 apartments)
- Block 4C Main Entrance (Serves 22 apartments)
- Block 4D Main Entrance (Serves 32 apartments)
- Block 4E Main Entrance (Serves 17 apartments)
- ▶ Private Entrance to house or maisonette
- Vehicular Access to Podium Parking (S04)



FDS C Site Plan

# 5.6 Waste Management Strategy

## FDS C

- Communal Refuse and Recycling Bin Stores
- Refuse Vehicle Loading Bay
- > Drag Distance
- <--> Refuse Vehicular Routes

The bin stores are located within 15m of collection points.

Following the Southwark waste management guidance note for residential developments (Feb 2014), two categories were considered to specify the storage capacity requirements for residual and recycling waste within FDS-C:

### Residential premises with individual refuse facilities

Of street based individual properties (houses or maisonettes) will be provided with the following configuration of receptacles:

- 240 litre wheeled bin for refuse;
- 240 litre wheeled bin for mixed dry recycling;
- 240 litre wheeled bin for mixed food and garden waste

### Residential premises with communal refuse facilities

The Southwark formulas considerate to calculate the estimated total weekly refuse recyclable and non-recyclable) arising from a residential development with communal refuse facilities were:

- Total weekly refuse (L) = 30L per unit + 70L per bedroom
- Recycling provision (L) = Total weekly refuse (L) x 0.5
- Residual waste provision (L) = Total weekly refuse (L) x 0.75

Adequate storage to accommodate the above was considered as a minimum.

Communal refuse facilities within S03 and S04 have space to provide more bins than what the Southwark guidance demands. For that reason, the Greenwich note for the storage of waste and recycling materials (May 2018) was also considered since it presents more generous standards (bins per unit) and includes specific targets related with the organic waste recycling.

In the communal refuse stores, the bin types considered were Eurobins 1100 litre (Height: 1410mm; Width: 1270mm; Depth: 1000mm) and 500 litre bins (for organic waste recycling: Height: 1090mm; Width: 1270mm; Depth: 720mm).

The waste management strategy has been subject to review by the transport team. A separate delivery servicing plan accompanies the planning application as a stand alone report.



FDS C Site Plan

# 5.6 Waste Management Strategy

## FDS C

The bin stores are located within 15m of collection points.

- Block 3A (11 apartments) = 5 bins
- Block 3B (32 apartments) = 11 bins
- Private Bin Storage for Houses and Maisonettes - 3 per home



Subplot S03 Ground Floor Plan



	Total of Units	Bin Provision	240L	1100L recycling	1100L residual waste	500L organic recycling	1100L WEEE Recycling	1100L Textiles Recycling	Bulky Waste Storage (10sqm for every 50 Units)
<b>Building A</b> - Maisonettes	8	24	3	-	-	-	-	-	Not required
<b>Building A</b> - Flats (Communal Bin Store)	11	5	-	2	2	1	-	-	Not required
<b>Building B</b> - Maisonettes	6	18	3	-	-	-	-	-	Not required
<b>Building B</b> - Flats (Communal Bin Store)	30	11	-	4	4	1	1	1	Not required
<b>Building C</b> - Houses	6	18	3	-	-	-	-	-	Not required
<b>Grand Total</b>	61	76	3	-	-	-	-	-	

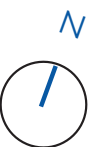
Subplot S03 Bin Schedule Summary

The bin stores are located within 15m of collection points.

- Block 4A (129 apartments) = 24 bins
- Block 4B (43 apartments) = 10 bins
- Block 4C (22 apartments) = 4 bins
- Block 4D (32 apartments) = 8 bins
- Block 4E (17 apartments) = 4 bins
- Communal bulky waste store
- Private Bin Storage for Houses and Maisonettes - 3 per home



Subplot S04 Ground Floor Plan



	Total of Units	Bin Provision	240L (3 bins per unit)	1100L recycling	1100L residual waste	500L organic recycling	1100L WEEE Recycling	1100L Textiles Recycling	Bulky Waste Storage	Total Litres
<b>Building 4A</b> - Flats (Communal Bin Store)	129	24	-	9	13	2	-	-	-	25200
<b>Building 4B</b> - Maisonettes	6	18	18	-	-	-	-	-	-	4320
<b>Building 4B</b> - Flats (Communal Bin Store)	44	10	-	4	5	1	-	-	-	10400
<b>Building 4C</b> - Maisonettes	4	12	12	-	-	-	-	-	-	2880
<b>Building 4C</b> - Flats (Communal Bin Store)	22	4	-	1	2	1	-	-	-	3800
<b>Building 4D</b> - Maisonettes	4	12	12	-	-	-	-	-	-	2880
<b>Building 4D</b> - Flats (Communal Bin Store)	32	8	-	3	4	1	-	-	-	8200
<b>Building 4E</b> - Maisonettes	2	6	6	-	-	-	-	-	-	1440
<b>Building 4E</b> - Flats (Communal Bin Store)	17	4	-	1	2	1	-	-	-	3800
<b>Grand Total</b>	260	98	-	-	-	-	-	-	35m2	62920

Subplot S04 Bin Schedule Summary

# 5.7 Bike Storage Provision

## Subplot S03

Houses and maisonettes with entrances on the ground floor have private internal bike storage. These units also have 1 additional Sheffield stand at the front entrance.

In Block 3A and 3B, apartments accessed from the cores have communal bike storage facilities.

■ Block 3A (11 apartments) = 21 spaces

■ Block 3B (32 apartments) = 53 spaces

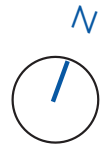
■ Private Internal Bicycle Store - 2 spaces per home  
(Block 3A = 8 Maisonettes; Block 3B = 6 Maisonettes; Block 3C = 6 Houses)

● Visitor/Short Stay Sheffield Bike Stand for Maisonettes  
(Not included in cycle storage provision calculation)

● Short Stay Sheffield Bike Stand



Ground Floor Plan



		COMMUNAL CYCLE STORAGE		
		Two Tier Racks	Reg Sheffield Stands	Larger Bikes
	<b>Total Required</b>	<b>90%</b>	<b>5%</b>	<b>5%</b>
Building A	21	18.9	1.05	1.05
Building B	53	47.7	2.65	2.65
*Building C - doesn't have a communal cycle storage space	0	-	-	-

		PRIVATE CYCLE STORAGE (indoors)
		Wall Dock
Building A (8 Maisonettes - Ground Floor)	16	2 (per Maisonette)
Building B (6 Maisonettes - Ground Floor)	12	2 (per Maisonette)
Building C (6 Houses -Ground Floor)	12	2 (per House)
<b>Total Cycle Provision</b>	<b>114</b>	

		SHORT STAY (outdoors)	
		On Private Amenity	On Street
		1 Reg Sheffield Stand per Unit	Larger Bike Stands
Building A (8 Maisonettes - Ground Floor)	16	2	-
Building B (6 Maisonettes - Ground Floor)	12	2	-
Building C (6 Houses -Ground Floor)	12	2	-
Between Building A & B	4	-	4
<b>Grand Total Cycle Provision</b>	<b>158</b>		

Subplot S03 Bicycle Space Summary Schedule

## 5.7 Bike Storage Provision

### Subplot S04

Maisonettes with entrances on the ground floor have private internal bike storage.

In Block 4A, 4B, 4C, 4D and 4E, apartments accessed from the cores have communal bike storage facilities.

■ Block 4A (129 apartments) = 236 spaces

■ Block 4B (43 apartments) = 88 spaces

■ Block 4C (22 apartments) = 38 spaces

■ Block 4D (32 apartments) = 64 spaces

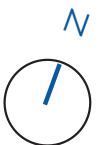
■ Block 4E (17 apartments) = 30 spaces

■ Private Internal Bicycle Store - 2 spaces per home  
(Block 4B = 6 Maisonettes; Block 4C = 4 Maisonettes; Block 4D = 4 Maisonettes; Block 4E = 2 Maisonettes)

● Additional Short Stay Sheffield Bike Stand - 12 spaces



Ground Floor Plan



	Total Required	COMMUNAL CYCLE STORAGE	
		Two Tier Racks	Larger Bikes
Building 4A	236	224.2	11.8
Building 4B	88	83.6	4.4
Building 4C	38	36.1	1.9
Building 4D	64	60.8	3.2
Building 4E	29.5	28.025	1.475

	Total Provided	PRIVATE CYCLE STORAGE (indoors)
		Wall Dock
Building 4B (6 Maisonettes - Ground Floor)	12	2 (per Maisonette)
Building 4C (4 Maisonettes - Ground Floor)	8	2 (per Maisonette)
Building 4D (4 Maisonettes - Ground Floor)	8	2 (per Maisonette)
Building 4E (2 Maisonettes - Ground Floor)	4	2 (per Maisonette)

<b>Total Cycle Provision</b>	<b>487.5</b>
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	Total Provided	SHORT STAY (outdoors)
		On Street Larger Bike Stands
Building 4A	4	4
Building 4B	2	2
Building 4C	2	2
Building 4D	2	2
Building 4E	2	2

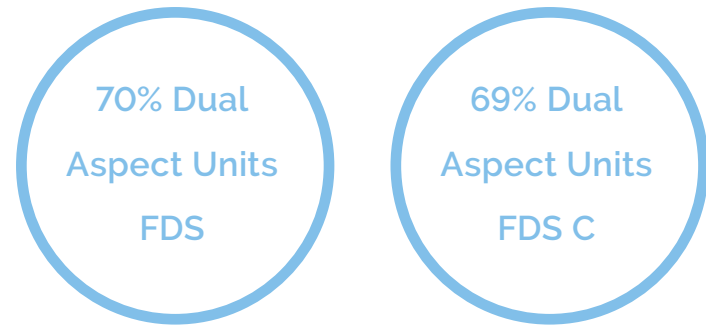
<b>Grand Total Cycle Provision</b>	<b>499.5</b>
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Subplot S04 Bicycle Space Summary Schedule

## 5.8 Dual Aspect Quantum

### FDS C

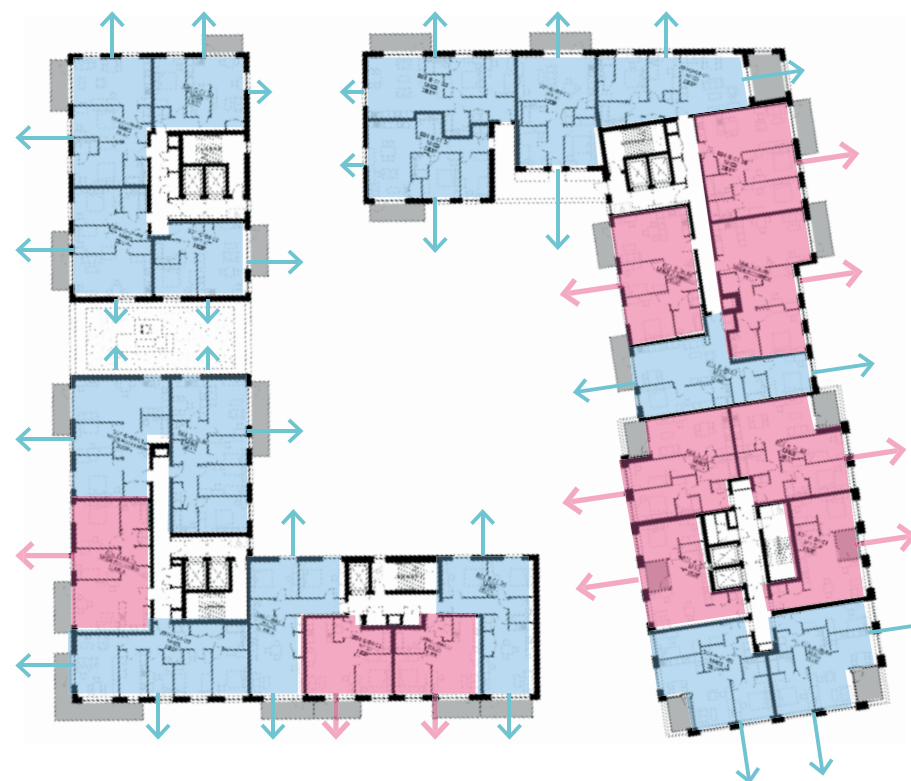
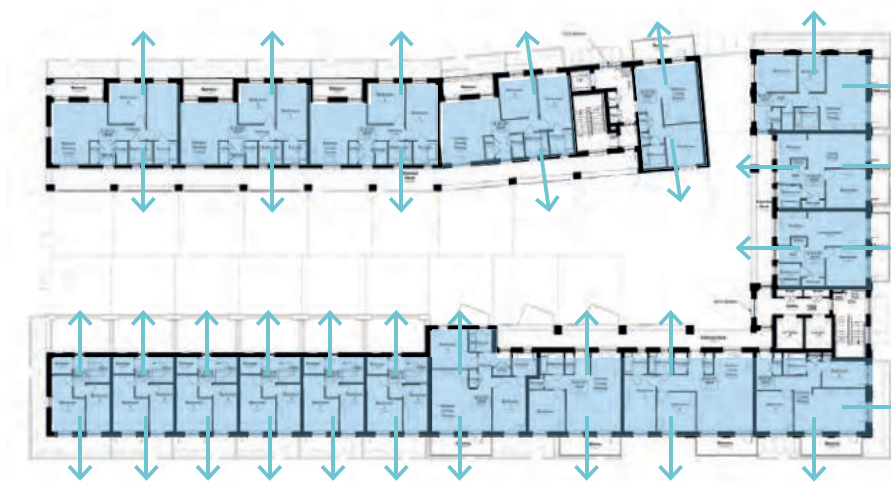
The proposed scheme achieves 69% dual aspect dwellings within FDS C.



The extant consent achieved 71% dual aspect homes across the entire First Development Site.

The proposed amendments to layouts in FDS C take the First Development Site dual aspect total to 70%.

100% dual aspect is achieved within Subplot S03.  
61% dual aspect is achieved within Subplot S04.



- Single Aspect
- Dual Aspect

FDS C Typical Floor Plan showing Dual Aspect Accommodation



## 5.9 Amenity Space

### FDS C

All units have been provided with private amenity space.

Houses have outdoor amenity spaces at the front and rear on the ground floor, and terraces on the first floor.

Maisonettes have private amenity spaces at the front and rear.

Apartments across all floors have access to private balconies with a minimum depth of 1.5m.

Block 3A has additional communal amenity space accessed from the entrance lobby.

 Private Amenity Provision

 Communal Amenity Provision



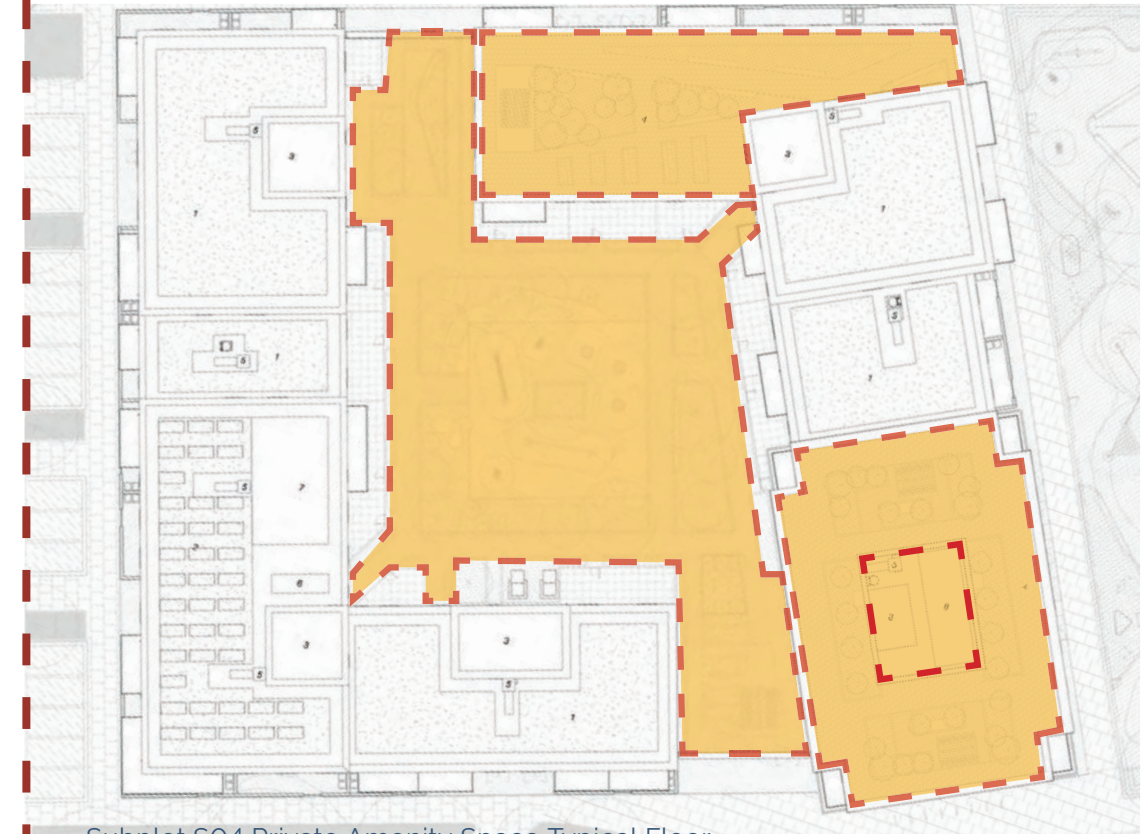
Subplot S03 Private Amenity Space Typical Floor



Subplot S03 Private Amenity Space Ground Floor



Subplot S04 Private Amenity Space Typical Floor



Subplot S04 Private Amenity Space Typical Floor

# 5.9 Amenity Space

## Subplot S03

### Private Amenity Space

#### Block 3A:

• <b>3B5P Units</b>	<b>Minimum Private Amenity Provided</b>	<b>44 sqm</b>
Minimum standard required for three or more bedrooms		10 sqm
		<b>No Shortfall</b>
• <b>1B2P Units</b>	<b>Projecting Balconies Provide</b>	<b>10 sqm</b>
Minimum standard required for two or less bedrooms		10 sqm
		<b>No Shortfall</b>
• <b>2B3P &amp; 2B4P Units</b>	<b>Recessed Balconies Provide</b>	<b>7.5 sqm</b>
Minimum standard required for two or less bedrooms		10 sqm*
		<b>Shortfall</b>
		<b>2.5 sqm x 8 units = 20 sqm</b>

\*Where that is not possible, the remaining space should be added to the communal amenity space - Southwark Design Standards v2011 p.25

#### Block 3B:

• <b>1B2P; 2B3P; 2B4P Units</b>	<b>Projecting Balconies Provide</b>	<b>10 sqm</b>
Minimum standard required for two or less bedrooms		10 sqm
		<b>No Shortfall</b>
• <b>3B5P; 4B6P Units</b>	<b>Minimum Private Amenity Provided</b>	<b>41 sqm</b>
Minimum standard required for three or more bedrooms		10 sqm
		<b>No Shortfall</b>

#### Block 3C:

• <b>4B5P Houses</b>	<b>Minimum Private Amenity Provided</b>	<b>59 sqm</b>
Minimum standard of private garden space		50 sqm
		<b>No Shortfall</b>

### Communal Amenity Space

<b>Space Provided (Block 3A &amp; Block 3B)</b>	<b>175.7 sqm</b>
Minimum standard required per development*	50 sqm
	<b>No Shortfall</b>

Guidance considered: Southwark Design Standards v2011



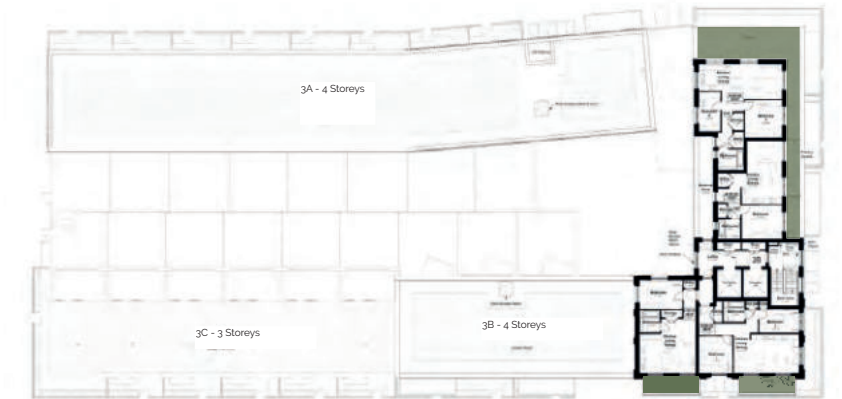
Ground Floor Plan



First Floor Plan



Second and Third Floor Plan



Sixth Floor Plan

Unit Type	Requirement to meet LB Southwark Policy (sqm)	Quantity	Overall Requirement to meet LB Southwark Policy (sqm)	Amenity Provided through balconies	Balance in communal space required	Communal Amenity Requirement (Balcony Shortfall + 100 sqm)	Communal Amenity provided
1B2P	10	17	170	170	0	120	175.7
2B3P	10	17	170	155	-15		
2B4P	10	7	70	65	-5		

	Requirement to meet LB Southwark Policy (sqm)
Block 3A	50
Block 3B	50

- Communal Amenity Provision - Block 3A & 3B
- Private Amenity Provision
- Shortfall Areas (8 Recessed Balconies in Block 3A)

# 5.9 Amenity Space

## Subplot S04

### Private Amenity Space

#### Block 4A,B,C,D,E

- **1B2P Units**                      **Minimum Private Amenity Provided**                      **5 sqm**  
 Minimum standard required for two or less bedrooms                      10 sqm  
**Shortfall**    5 sqm x 65 units = **325 sqm**
- **2B3P Units**                      **Minimum Private Amenity Provided**                      **6 sqm**  
 Minimum standard required for two or less bedrooms                      10 sqm  
**Shortfall**    4 sqm x 147 units = **882 sqm**
- **2B4P Units**                      **Minimum Private Amenity Provided**                      **7 sqm**  
 Minimum standard required for two or less bedrooms                      10 sqm  
**Shortfall**    3 sqm x 17 units = **119 sqm**
- **3B5/6P Units**                      **Minimum Private Amenity Provided**                      **10 sqm**  
 Minimum standard required for two or less bedrooms                      10 sqm  
**No Shortfall**

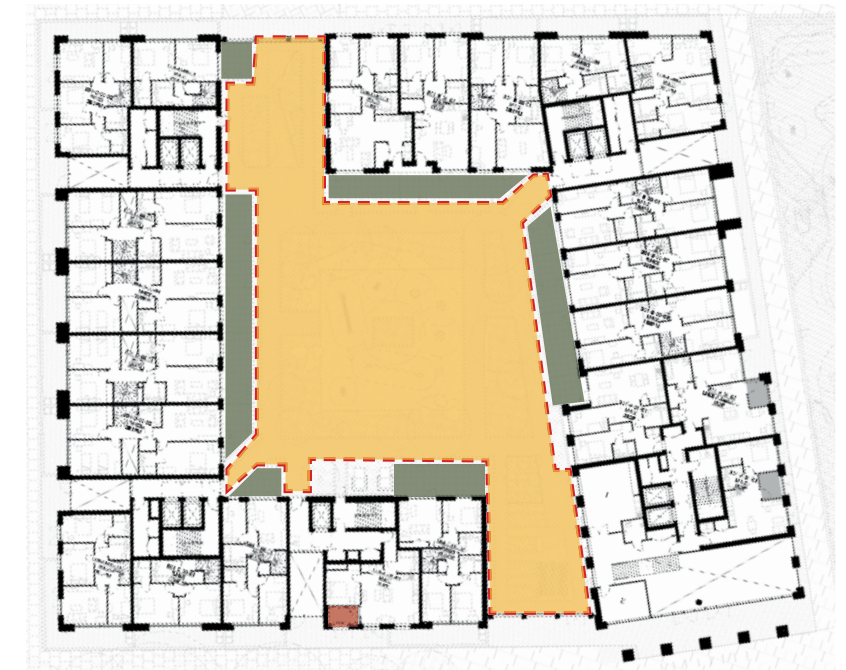
### Communal Amenity Space

**Space Provided (4A+4B+podium)**                      **1852 sqm**

Total private amenity space shortfall                      1026 sqm  
 Minimum standard required per development (50m2 per block)                      200 sqm  
 Communal amenity requirement                      1226 sqm



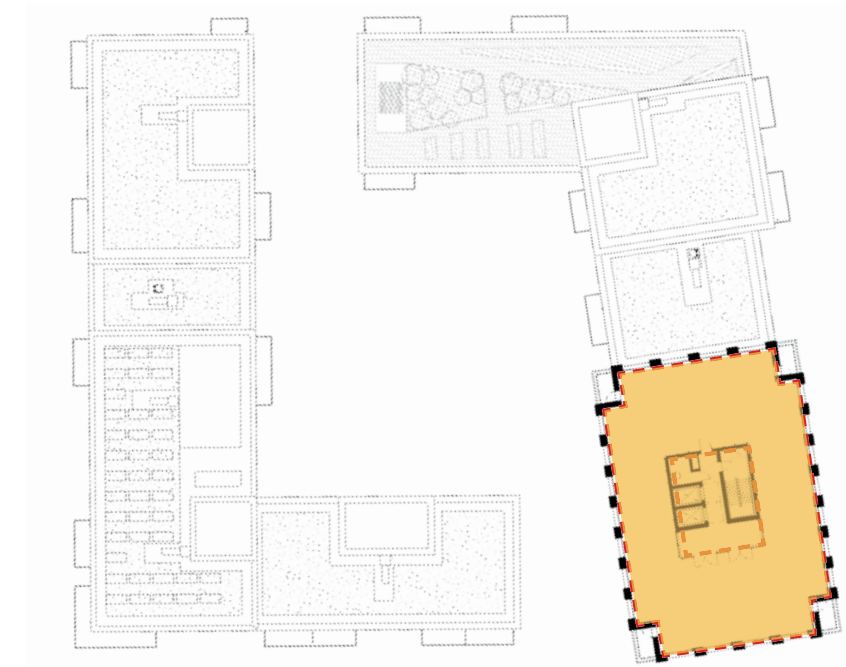
Ground Floor Plan



First Floor Plan



Sixth Floor Plan



23rd Floor Plan

Unit Type	Requirement to meet LB Southwark Policy (sqm)	Quantity	Overall Requirement to meet LB Southwark Policy (sqm)	Private Amenity	Balance in communal space required	Communal Amenity Requirement (Private amenity shortfall + 200 sqm)	Communal Amenity provided
1B2P	10	65	650	325	325	1164	1852
2B3P	10	147	1470	882	588		
2B4P	10	17	170	119	51		
3B5/6P	10	31	310	310	0		

	Requirement to meet LB Southwark Policy (sqm)
Block 4A	50
Block 4B	50
Block 4C	50
Block 4D	50

- Communal Amenity Provision - Block 4A+4B+podium
- Private Amenity Provision
- Shortfall Areas

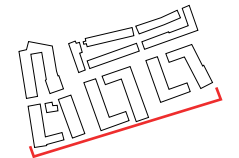




## 6.1 Site Wide Elevations

### Extant Consent

The following pages show a comparison of the FDS Site Wide Elevations, reflecting the changes to the skyline and material elevation between the extant consent and the proposed amendments.



Albany Road - South Elevation

Subplot S06

Subplot S05

Subplot S04



East West Street - North Elevation

Subplot S04

Subplot S05

Subplot S06

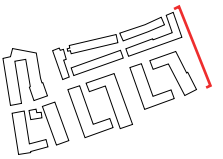
# 6.1 Site Wide Elevations

## Proposed Amendments



## 6.1 Site Wide Elevations

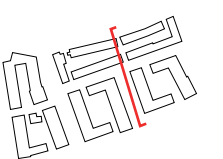
### Extant Consent



Portland Street - East Elevation

Subplot S04

Subplot S03



Phelp Mews - West Elevation

Subplot S03

Subplot S04



# 6.1 Site Wide Elevations

## Proposed Amendments



Portland Street - East Elevation

Subplot S04

Subplot S03



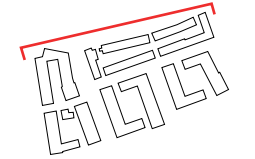
Phelp Gardens - West Elevation

Subplot S03

Subplot S04

# 6.1 Site Wide Elevations

## Extant Consent

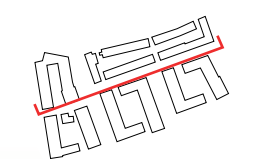


Westmoreland Road - North Elevation

Subplot S03

Subplot S02

Subplot S01



East West Street - South Elevation

Subplot S01

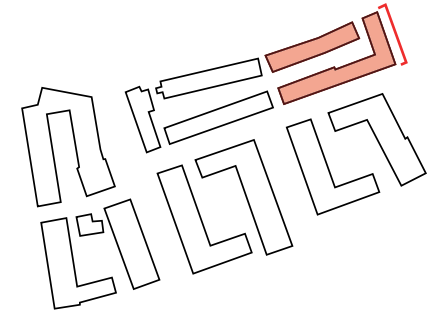
Subplot S02

Subplot S03



## 6.2 Subplot S03 Elevations

### Portland Street Extant Consent

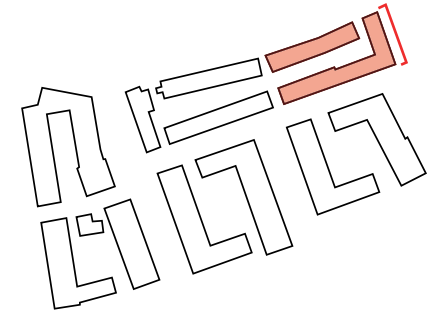


- 01 5 Storeys with set back 6th storey
- 02 Full height windows
- 03 Core windows
- 04 Building entrance
- 05 Louvred doors to bin store and plant room
- 06 Maisonette entrances
- 07 Front garden wall



## 6.2 Subplot S03 Elevations

### Portland Street Proposed Amendments

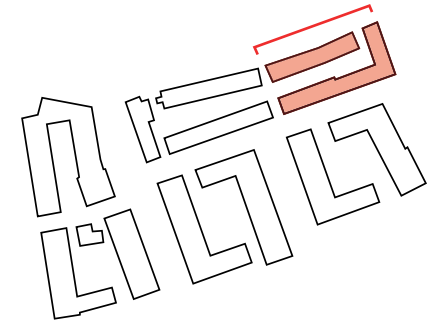


- 01 6 Storeys with set back 7th storey
- 02 Increased parapet height
- 03 Core windows and elevation revised following improved internal layout
- 04 Building entrance
- 05 Louvred doors to bin store and plant room
- 06 Maisonette entrances
- 07 Front garden wall



## 6.2 Subplot S03 Elevations

### Westmoreland Road Extant Consent



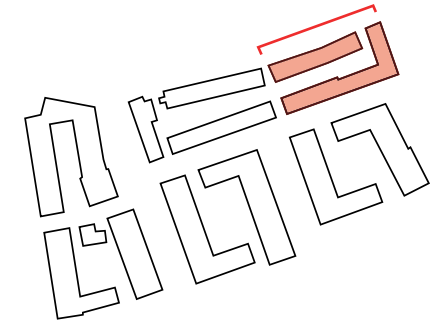
- 01 Block 3A - 5B7P Houses
- 02 Block 3A - 4B6P Houses
- 03 Block 3B - Maisonettes on the ground floor with flats above
- 04 5 storey with 6th storey set back
- 05 Oriel windows



- 06 House entrances
- 07 Front garden wall

## 6.2 Subplot S03 Elevations

### Westmoreland Road Proposed Amendments



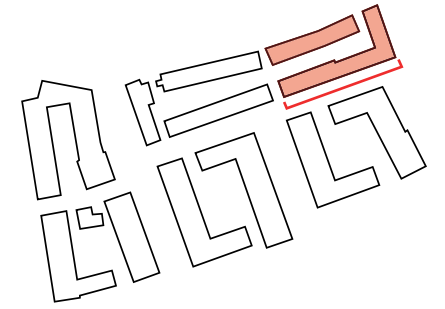
- 01 Block 3A - 3B5P Maisonettes with Apartments above
- 02 Block 3B - Additional storey added
- 03 Core introduced to Block 3A to serve apartments
- 04 Maisonette Front Entrances
- 05 Oriel windows



- 06 Front Garden Wall
- 07 Recessed Balcony

## 6.2 Subplot S03 Elevations

### New East West Street Extant Consent



- 01 Block 3A - 5B7P Houses
- 02 Block 3A - 4B6P Houses
- 03 Block 3B - Maisonettes on the ground floor with flats above
- 04 5 storey with 6th storey set back
- 05 Metal clad 4th floor
- 06 Maisonette entrances
- 07 Full-height windows

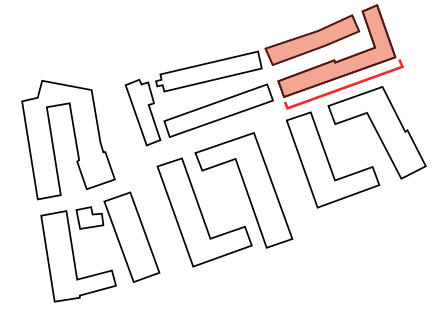


- 08 Front garden wall
- 09 Oriel windows
- 10 House entrances



## 6.2 Subplot S03 Elevations

### New East West Street Proposed Amendments



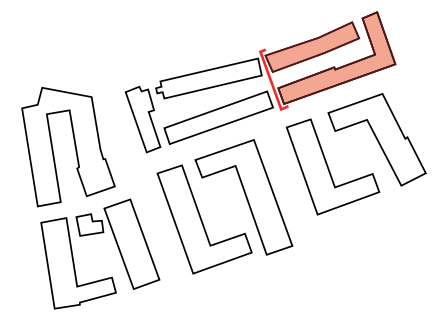
- 01 Block 3c - 4B6P Houses
- 02 Block 3B - Additional Storey
- 03 Block 3B - Maisonettes on the ground floor with flats above
- 04 Projecting Balcony
- 05 Louvred Doors to Service areas



- 06 Maisonette entrances
- 07 Dark Grey Brick Detail
- 08 Oriel Windows

## 6.2 Subplot S03 Elevations

### Phelp Mews Extant Consent

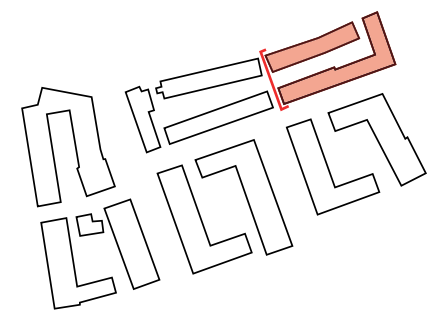


- 01 Block 3A - 5B7P Houses
- 02 Block 3C - 4B6P Houses
- 03 Full height window
- 04 House entrance
- 05 Front door garden fence
- 06 West facing window



## 6.2 Subplot S03 Elevations

### Phelp Mews Proposed Amendments

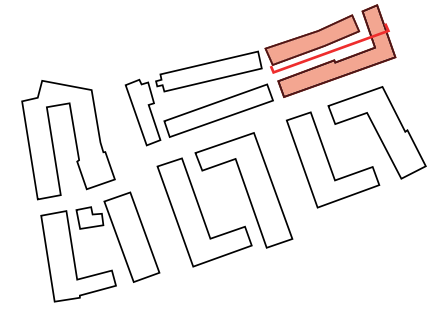


- 01 Block 3A - Maisonettes on the ground floor with flats above
- 02 Block 3C - 4B6P Houses
- 03 Grey Brick Detail
- 04 House entrance
- 05 Front door garden fence



## 6.2 Subplot S03 Elevations

### Rear of Block 3A Extant Consent

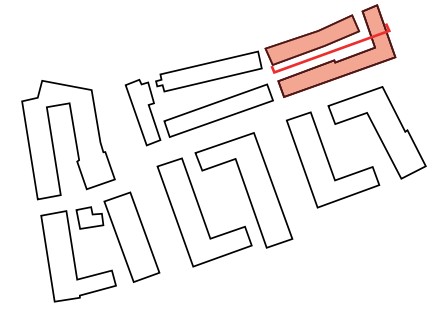


- 01 Block 3A - 5B7P Houses
- 02 Block 3A - 4B6P Houses
- 03 Block 3B - Maisonettes with flats above
- 04 House entrance - 5 storey with 6th storey setback
- 05 Full height windows



## 6.2 Subplot S03 Elevations

### Rear of Block 3A Proposed Amendments

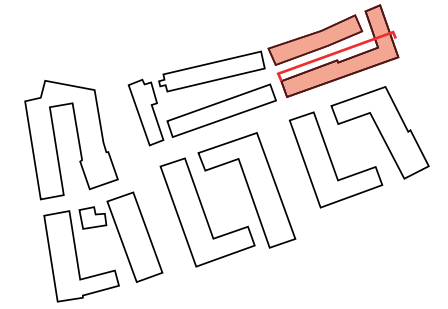


- 01 Block 3A - Maisonettes with flats above
- 02 Block 3A - Core
- 03 Grey Brick Detail
- 04 Block 3B - 6 storey with 7th storey setback
- 05 Full height windows



## 6.2 Subplot S03 Elevations

Rear of Block 3B and 3C Extant Consent

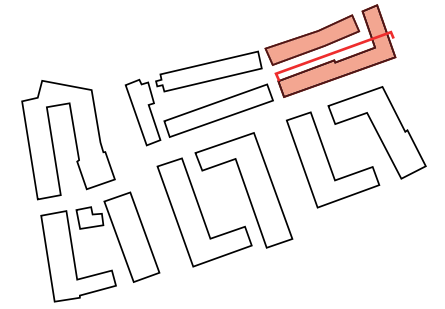


- 01 Block 3A - 5B7P Houses
- 02 Block 3A - 4B6P Houses
- 03 Block 3B - Maisonettes with flats above
- 04 Private amenity space
- 05 Full height windows



## 6.2 Subplot S03 Elevations

### Rear of Block 3B and 3C Proposed Amendments



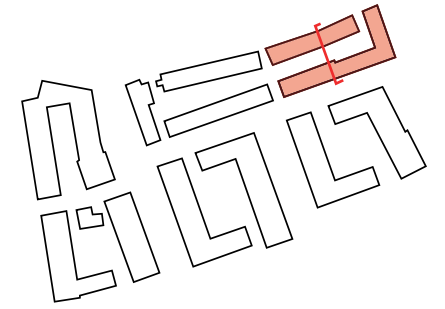
- 01 Block 3C - 4B6P Houses
- 02 Block 3B - Maisonettes with flats above
- 03 Grey Brick Detail
- 04 Private amenity space
- 05 Full height windows



- 06 Private Amenity Terraces
- 07 Oriel Window

## 6.2 Subplot S03 Elevations

### Rear of Block 3B Extant Consent



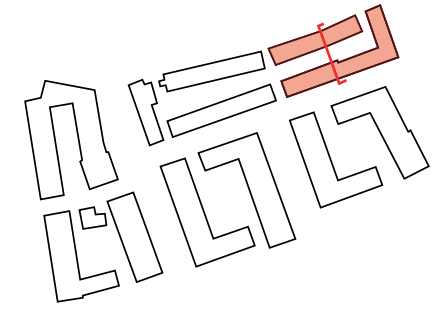
- 01 5 Storeys with set back 6th storey
- 02 Full height windows
- 03 Maisonette windows
- 04 Access deck
- 05 Perforated railing
- 06 Dark brick on the inside face
- 07 4 Storey house





## 6.2 Subplot S03 Elevations

### Rear of Block 3B Proposed Amendments

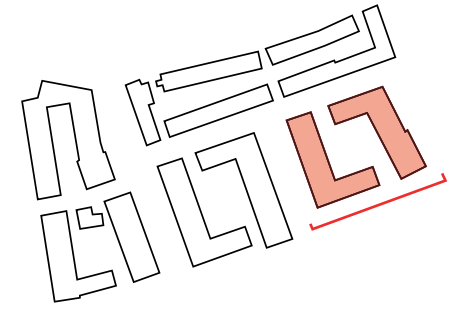


- 01 6 Storeys with set back 7th storey
- 02 Grey brick detail
- 03 Maisonette windows
- 04 Access deck
- 05 Full Height Windows
- 06 Door from Core to communal amenity

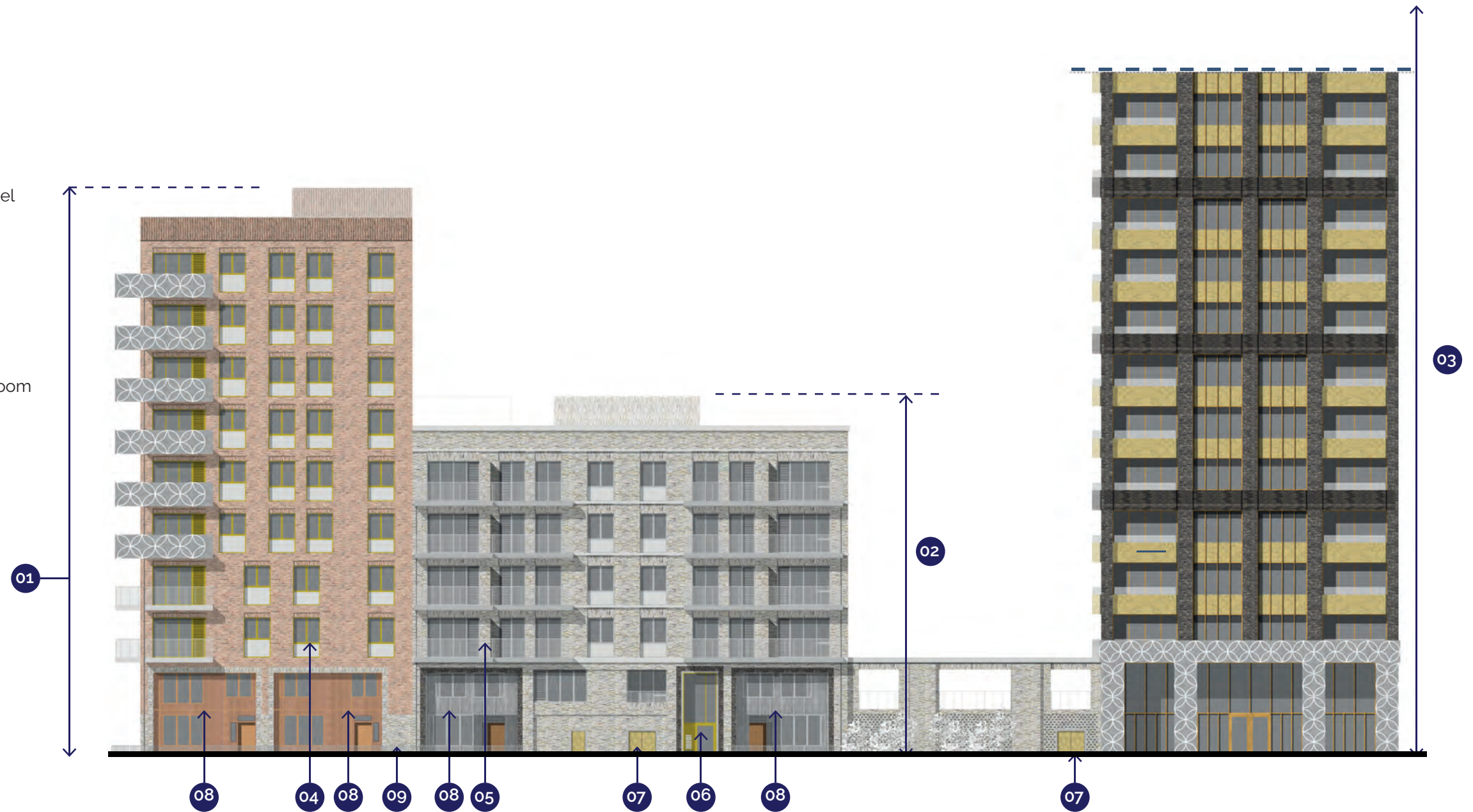


## 6.2 Subplot S04 Elevations

### Albany Road Extant Consent

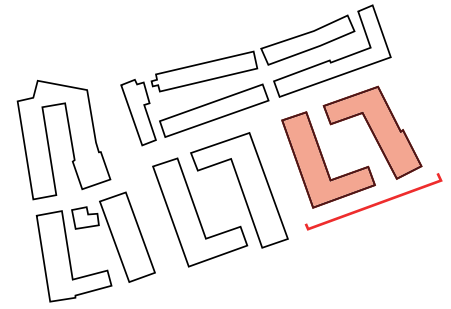


- 01 10 Storeys with lift overrun
- 02 6 Storeys with lift overrun
- 03 20 Storeys
- 04 Full height windows with spandrel panel
- 05 Projecting balconies
- 06 Communal residential entrance
- 07 Louvred doors to bin store and plant room
- 08 Maisonette entrances
- 09 Front garden railings



## 6.2 Subplot S04 Elevations

### Albany Road Proposed Amendments

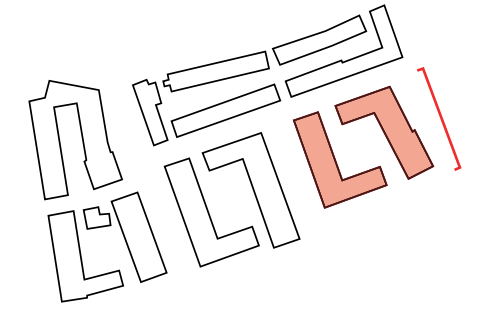


- 01 10 Storeys with lift overrun
- 02 6 Storeys with lift overrun
- 03 23 Storeys
- 04 Full height windows with spandrel panel
- 05 Projecting balconies
- 06 Communal residential entrance
- 07 Louvred doors to bin store and plant room
- 08 Maisonette entrances
- 09 Front garden wall



## 6.2 Subplot S04 Elevations

Portland Street Extant Consent

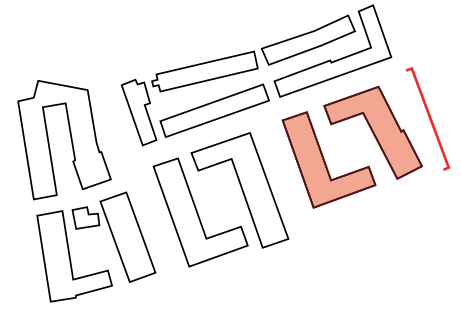


- 01 5 Storeys with set back 6th storey
- 02 Full height windows
- 03 Core windows
- 04 Building entrance
- 05 Louvred doors to bin store and plant room
- 06 Maisonette entrances
- 07 Front garden wall



## 6.2 Subplot S04 Elevations

### Portland Street Proposed Amendments

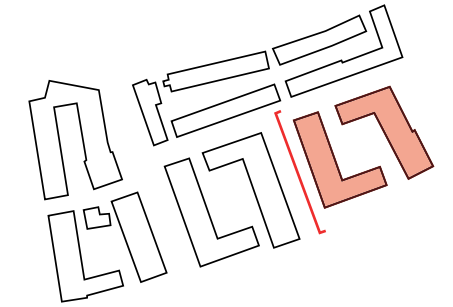


- 01 10 Storeys with lift overrun
- 02 Full height windows with spandrel panel
- 03 Communal residential entrance
- 04 Projecting balconies
- 05 Louvered doors to bin store and plant room
- 06 Maisonette entrances
- 07 Front garden wall
- 08 Double height curtian walling
- 09 20 Storeys
- 10 Commercial frontage



## 6.2 Subplot S04 Elevations

### North South Street Extant Consent

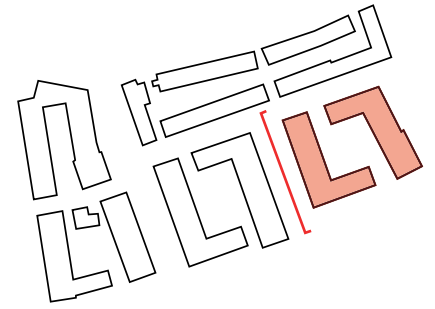


- 01 7 Storeys with lift overr back 6th storey
- 02 10 Storeys with lift overr back 6th storey
- 03 Full height windows with spandrel panel
- 04 Communal residential entrance
- 05 Projecting balconies
- 06 Louvered doors to bin store and plant room
- 07 Maisonette entrances
- 08 Front garden railings



## 6.2 Subplot S04 Elevations

### North South Street Proposed

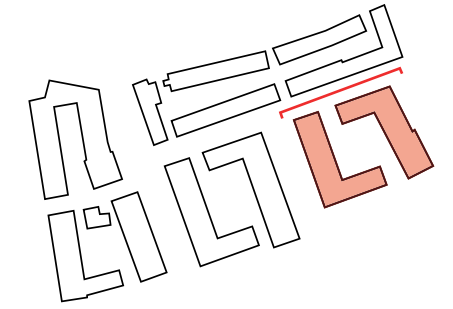


- 01 7 Storeys with lift overr back 6th storey
- 02 10 Storeys with lift overr back 6th storey
- 03 Full height windows with spandrel panel
- 04 Communal residential entrance
- 05 Projecting balconies
- 06 Louvered doors to bin store and plant room
- 07 Maisonette entrances
- 08 Front garden walls



## 6.2 Subplot S04 Elevations

### East West Street Extant Consent



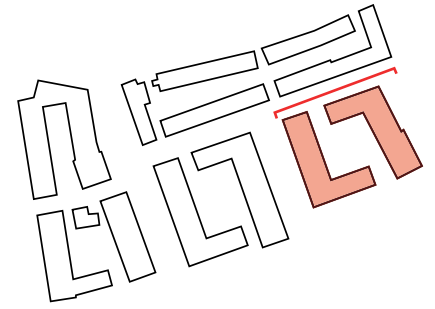
- 01 6 Storeys
- 02 7 Storeys with lift overrun
- 03 Full height windows with spandrel panels
- 04 Projecting balconies
- 05 Undercroft car park entrance
- 06 Louvered doors to substation
- 07 Maisonette entrances
- 08 Front garden railings





## 6.2 Subplot S04 Elevations

### East West Street Proposed Amendments



- 01 6 Storeys
- 02 7 Storeys with lift overrun
- 03 Full height windows with spandrel panels
- 04 Projecting balconies
- 05 Undercroft car park entrance
- 06 Louvered doors to substation
- 07 Maisonette entrances
- 08 Front garden walls



## 6.3 Materials

### Subplot S03 Proposed Materials



- Application: S03 Main Brick

Manufacturer: Bespoke Brick Company

Mortar: Euromix M3PN000 (Light Natural Mortar)

Specification: Fubro Blend

Joints: Bucket handle

Bonding: Varies, see elevations for details. Mainly stretcher bond.



- Application: S03 Detail around entrances and ground floor recesses of corner houses in Blocks A and C

Manufacturer: Wienerberger

Mortar: Euromix M3PNNFC999 (Black)

Specification: Silverstone Smooth 11474210

Joints: Bucket handle

Bonding: Varies, see elevations for details. Mainly stretcher bond.



- Application: S03 Railings, Balconies, Metal Fencing, Metal Gates & Rainwater Goods

Metalwork

Colour: RAL 7012 Basalt Grey



Block 3B Entrance



East Elevation

# 6.3 Materials

## Subplot S03 Proposed Materials



Fubro Blend



Silverstone Smooth



Metalwork RAL 7012



Typical House Elevation (Block 3C)

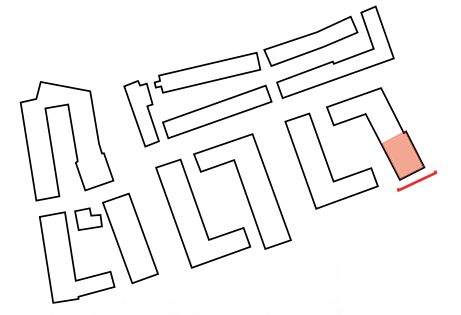


Block 3A Entrance

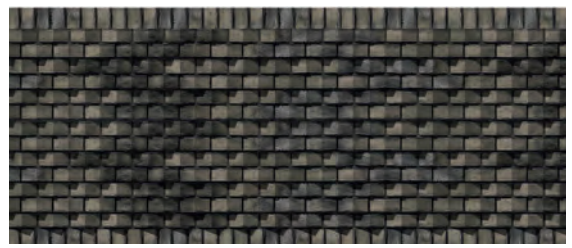
Flemish bond brickwork pattern with projected headers

### 6.3 Materials

#### Block 4A Extant Consent Materials



01 Dark grey semi-glazed clinker black brickwork



02 Sawtooth brickwork panels



03 Cast concrete panels with 'mandala' pattern to be confirmed



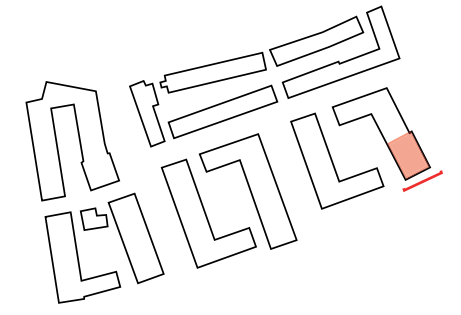
04 Gold coloured metal with ornamented perforations



Typical Block 4A Bay Study Elevation

### 6.3 Materials

#### Block 4A Proposed Materials



01 Earthy red multi stock waterstruck brickwork



02 Vertical profiled pre-cast panel



03 Green PPC metalwork framing, railings and coping



04 Vertical profiled bronze PPC metalwork cladding to lift over-run



05 Pre-cast panel to columns with embossed mandala pattern. Design tbc.

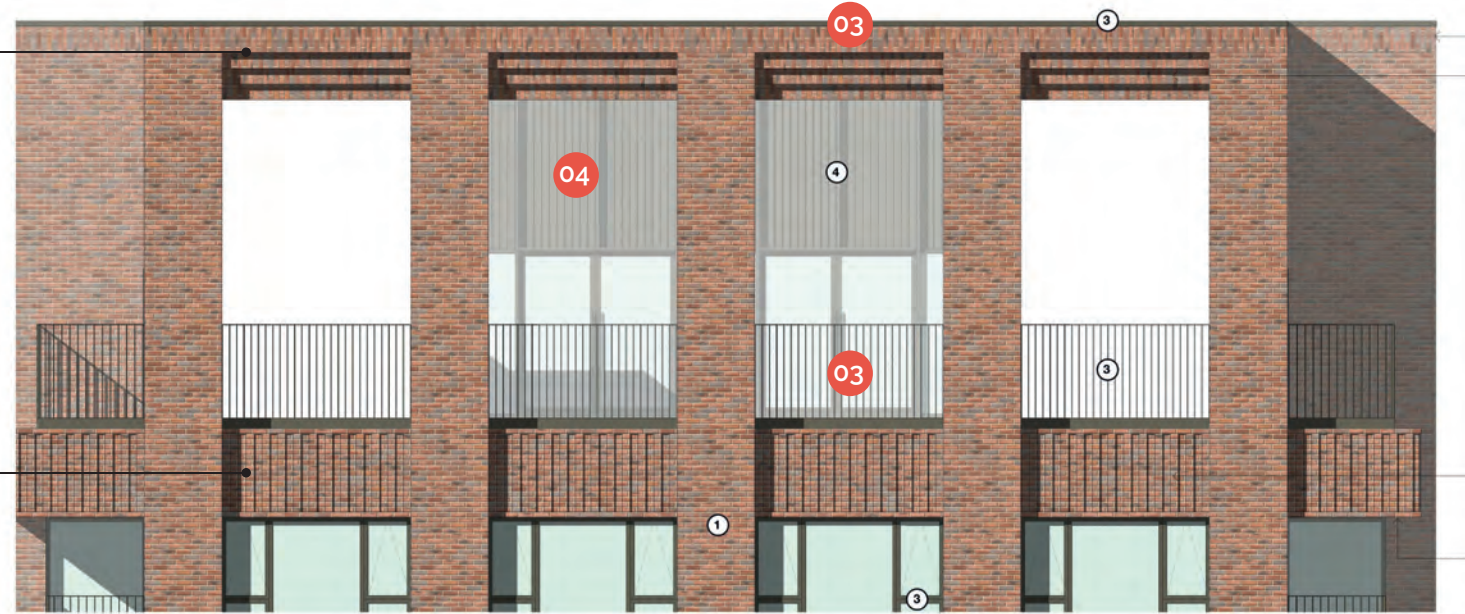
Corbelled soldier coursed brickwork detailing

Alternating vertical profiled recessed brick courses

Pre-cast soffit finish to match pre-cast horizontal bands

Brick soffit finish to match brick horizontal bands

Smooth finish pre-cast band with shadow gap below



Crown



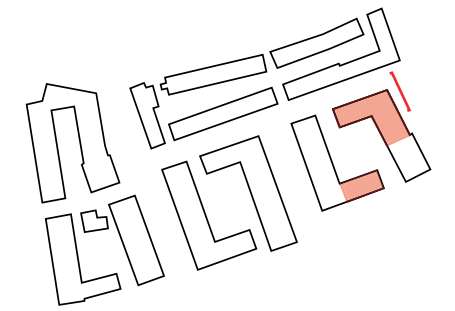
Typical Floors

Base

Typical Block 4A Bay Study Elevation

### 6.3 Materials

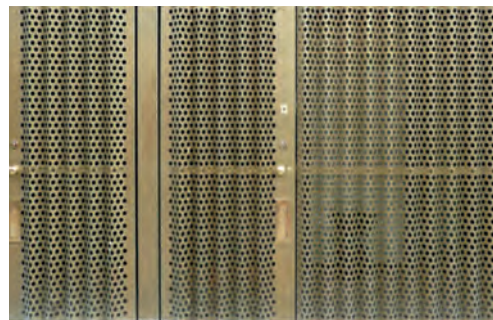
#### Block 4B and 4E Extant Consent Materials



01 Grey / buff waterstruck brickwork



02 Pre-cast string courses to match balconies



03 Gold anodised aluminium with ornamental perforations

04 Pre-cast balcony with ornamental soffit



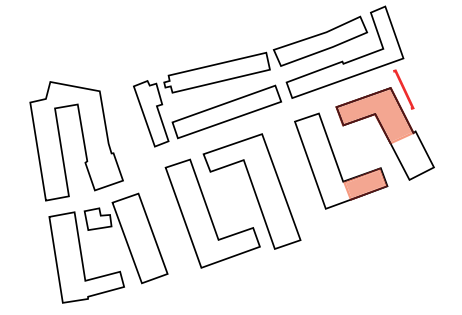
Apartments ↑

↓ Maisonettes / Communal Entrance

Typical Block 4B Bay Study Elevation

### 6.3 Materials

#### Block 4B and 4E Proposed Materials



01 Grey / buff brickwork



02 Vertical profiled pre-cast panel



03 Red PPC metalwork framing, railings and coping



04 Red PPC metalwork with ornamented perforations to BoH doors

Alternating vertical profiled recessed brick courses to parapet

Recessed brick course

Recessed brick course

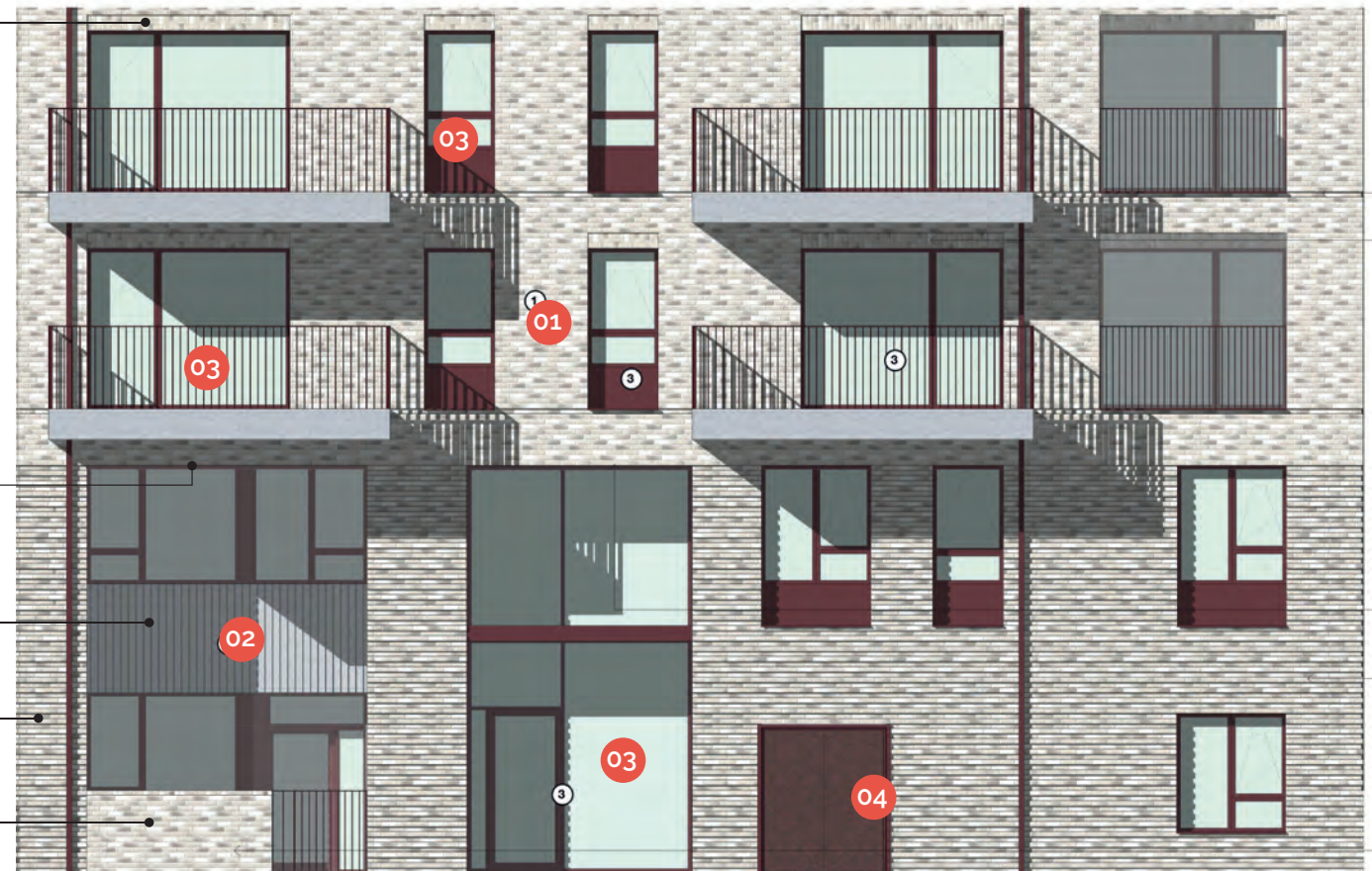
Recessed soldier course brick lintel to upper floor openings

Brick faced soffit to communal entrance and maisonette recess

Pre-cast panel to maisonettes

Alternating recessed brick courses

Flemish bond brickwork wall to maisonette defensible space with header course coping

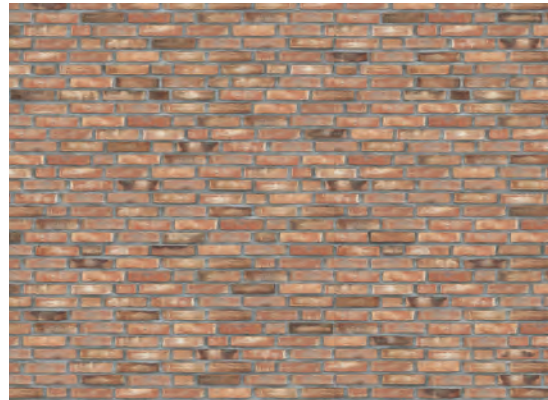
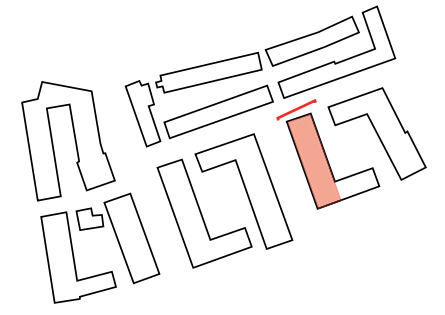


Apartments  
Maisonettes / Communal Entrance

Typical Block 4B Bay Study Elevation

### 6.3 Materials

#### Block 4C and 4D Extant Consent Materials



01 Brown / white semi-glazed waterstruck brickwork



02 Dogtooth brickwork parapets

03 Feathered vertical brick lintels to windows

04 Opaque glass spandrel panels

05 Vertically ribbed varnished timber cladding coordinated with windows



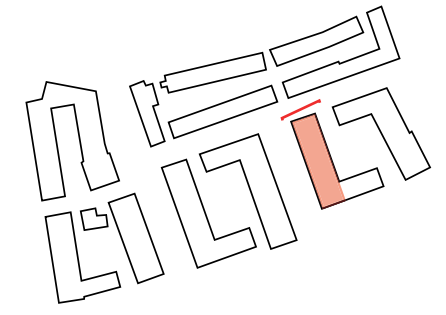
Typical Block 4C Bay Study Elevation

Apartments ↑  
Maisonettes / Communal Entrance ↓



## 6.3 Materials

### Block 4C and 4D Proposed Materials



01 Brown multi brickwork



02 Vertical profiled pre-cast panel



03 Green PPC metalwork framing, railings and coping



04 Green PPC metalwork with ornameted perforations to BoH doors

Alternating vertical profiled recessed brick courses to parapet

Recessed brick course

Recessed brick course

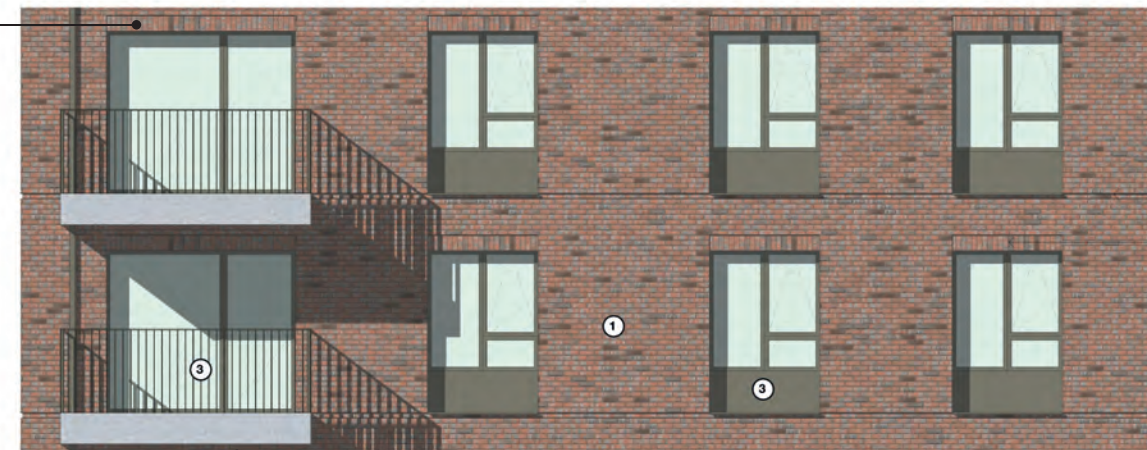
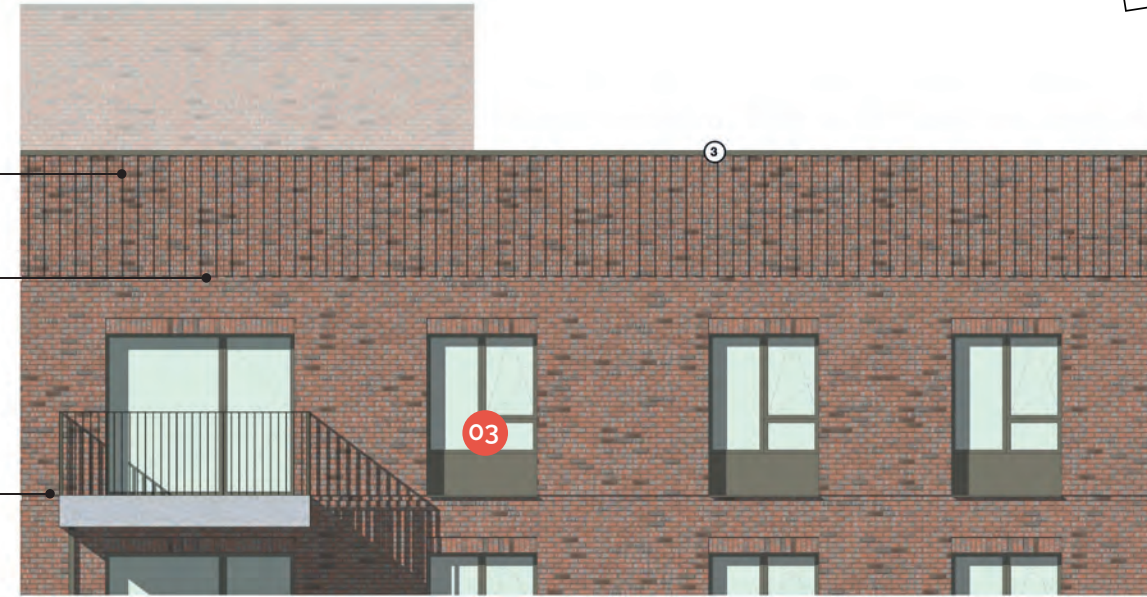
Recessed soldier course brick lintel to upper floor openings

Brick faced soffit to communal entrance and maisonette recess

Pre-cast panel to maisonette

Alternating recessed brick courses

Flemish bond brickwork wall to maisonette defensible space with header course coping



↑ Apartments

↓ Maisonettes / Communal Entrance

Typical Block 4C Bay Study Elevation





# 8.1 Schedule of Accommodation

## Summary of Changes for FDS C

SUBPLOT S03 PROPOSED MIX

	SUMMARY									Total
	Flats			Flats			Maisonettes	Maisonettes	Houses	
	1B2P	2B3P	2B4P	1B2P	2B3P	2B4P	3B5P-M	4B6P-M	4B6P-H	
	Private Sale			Shared Ownership			Social Rent			
Building 3A	3	8	0	0	0	0	8	0	0	19
Building 3B	0	0	0	14	11	5	4	2	0	36
Building 3C	0	0	0	0	0	0	0	0	6	6
Grand Total Units	3	8	0	14	11	5	12	2	6	61
Hab Rooms	6	24	0	28	33	20	60	12	36	219
Total Mix (%)	5%	13%	0%	23%	18%	8%	20%	3%	10%	100%
Tenure Split (%)	18%			49%			33%			100%
Tenure Split (Units)	11			30			20			61
	Family Accomodation									

CONSENTED MIX

FLATS		MAISONETTES	HOUSES	TOTAL
1B2P	2B3P	2B4P & 3B5P	4B6P+	
11 units	2 units	7 units	20 units	
27.5%	5%	17.5%	50%	

PROPOSED MIX

FLATS			MAISONETTES	HOUSES	TOTAL	
1B2P	2B3P	2B4P	3B5P(M)	4B6P(M)		5B7P
17 units	19 units	5 units	12 units	2 units		6 units
28%	31%	8%	20%	3%	10%	

Results Comparison

TOTAL UNITS	
Consented	Proposed
40 units	61 units

Difference = +21

SUBPLOT S04 PROPOSED MIX

	SUMMARY															Total				
	Private Sale						Shared Ownership					Social Rent								
	Flats			Maisonettes			Flats		Maisonettes			Flats		Maisonettes						
	1B2P	2B3P	2B4P	3B5P/6P	2B4P-M	3B5P/6P-M	1B2P	2B3P	2B4P	3B5P/6P	2B4P-M	3B5P/6P-M	1B2P	2B3P	2B4P		3B5P/6P	2B4P-M	3B5P/6P-M	
Building 4A	44	85	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	129
Building 4B	0	35	5	4	1	5	0	0	0	0	0	0	0	0	0	0	0	0	0	50
Building 4C	0	0	0	0	0	0	12	3	7	0	1	3	0	0	0	0	0	0	0	26
Building 4D	0	0	0	0	0	0	0	0	0	0	0	0	0	16	2	14	1	3	0	36
Building 4E	0	0	0	0	0	0	9	8	0	0	0	0	0	0	0	0	0	0	2	19
Grand Total Units	44	120	5	4	1	5	21	11	7	0	1	3	0	16	2	14	1	5	0	260
Hab Rooms	88	360	20	20	4	25	42	33	28	0	4	15	0	48	8	70	4	25	0	794
Total Mix (%)	17%	46%	2%	2%	0%	2%	8%	4%	3%	0%	0%	1%	0%	6%	1%	5%	0%	2%	0%	100%
Tenure Split (%)	69%						17%					15%				100%				
Tenure Split (Units)	179						43					38				260				

CONSENTED MIX

FLATS				MAISONETTES		TOTAL
1B2P	2B3P	2B4P	3B5P/6P	2B4P(M)	3B5P/6P(M)	
76 units	28 units	78 units	15 units	15 units	9 units	
34%	13%	35%	7%	7%	4%	

PROPOSED MIX

FLATS				MAISONETTES		TOTAL
1B2P	2B3P	2B4P	3B5P/6P	2B4P(M)	3B5P/6P(M)	
65 units	147 units	14 units	18 units	3 units	13 units	
25%	57%	5%	7%	1%	5%	

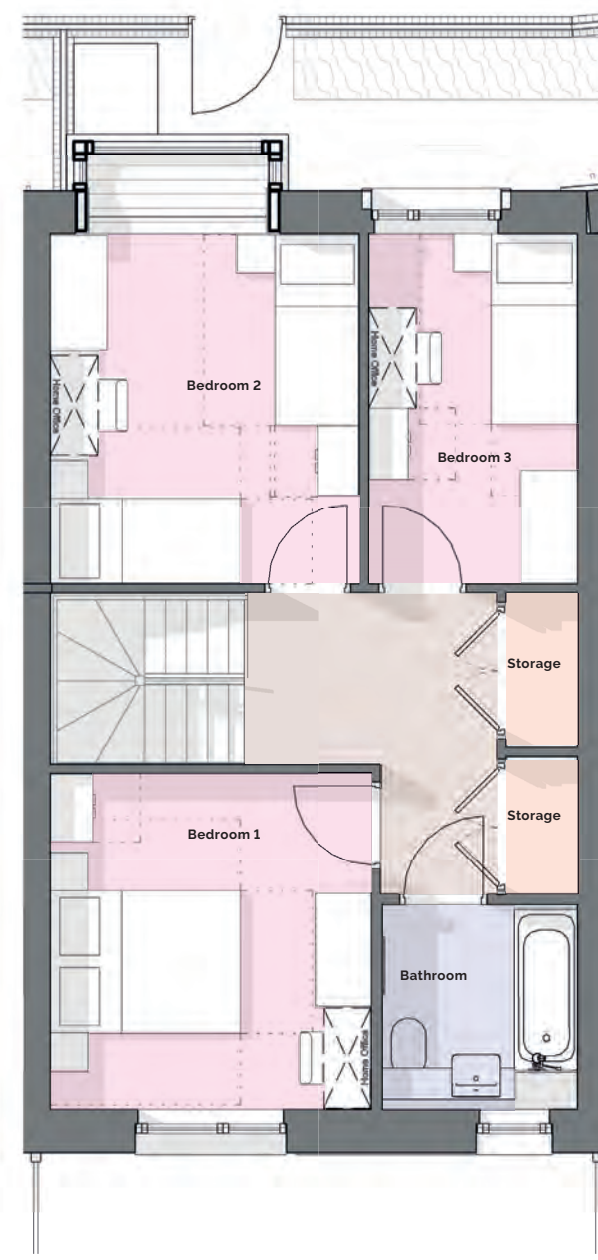
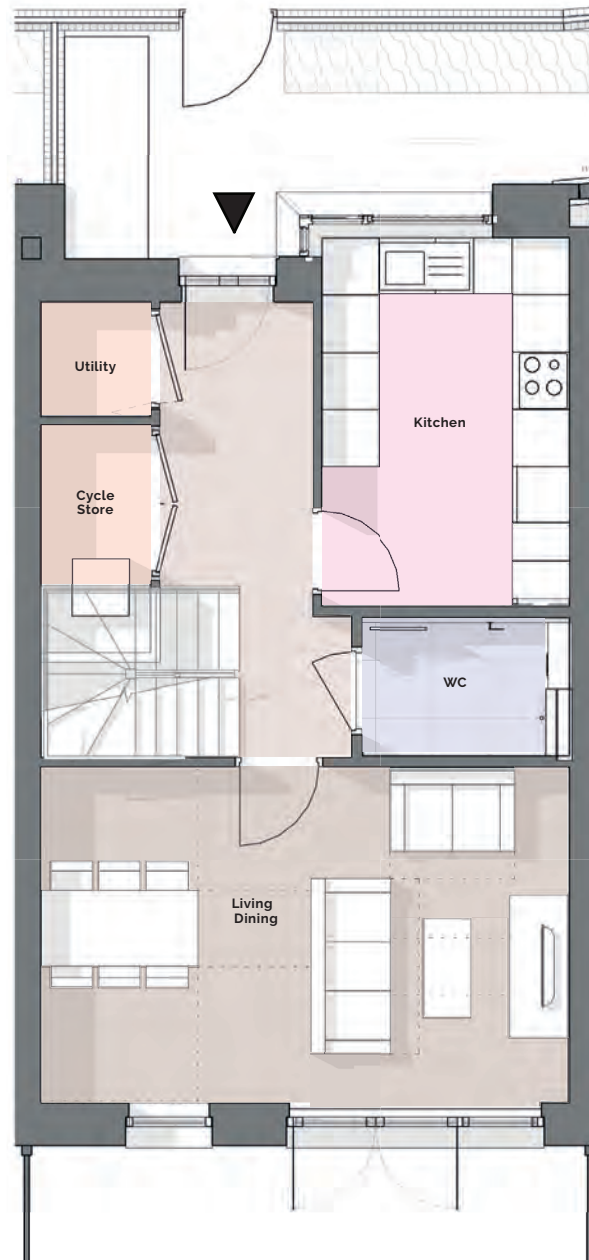
Results Comparison

TOTAL UNITS	
Consented	Proposed
221 units	260 units

Difference = +39

## 8.2 Subplot S03

### New Housing Typologies



3B5P-M Type 2

Area Provided: 101 sqm

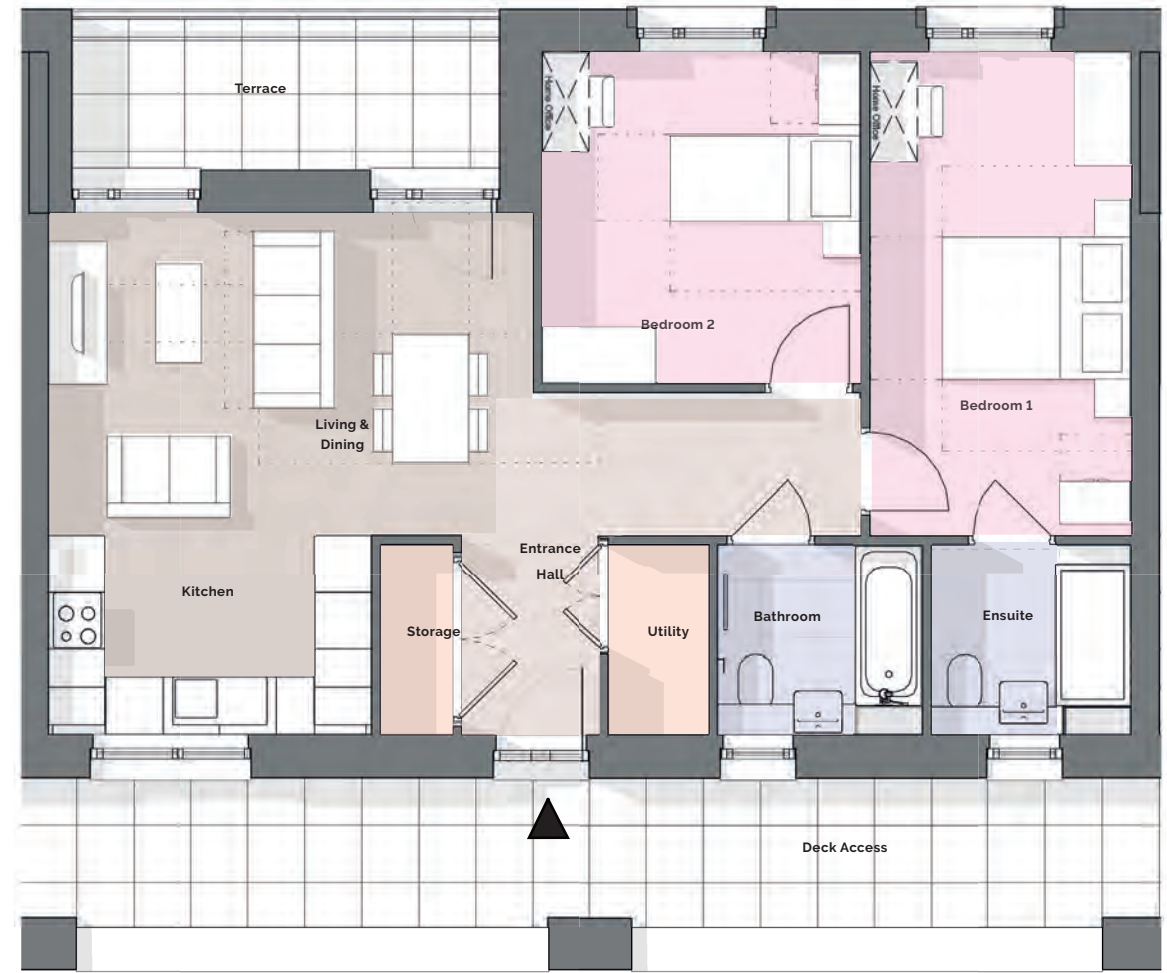
Minimum Area required: 96 sqm (Social Rent)

## 8.2 Subplot S03

### New Housing Typologies



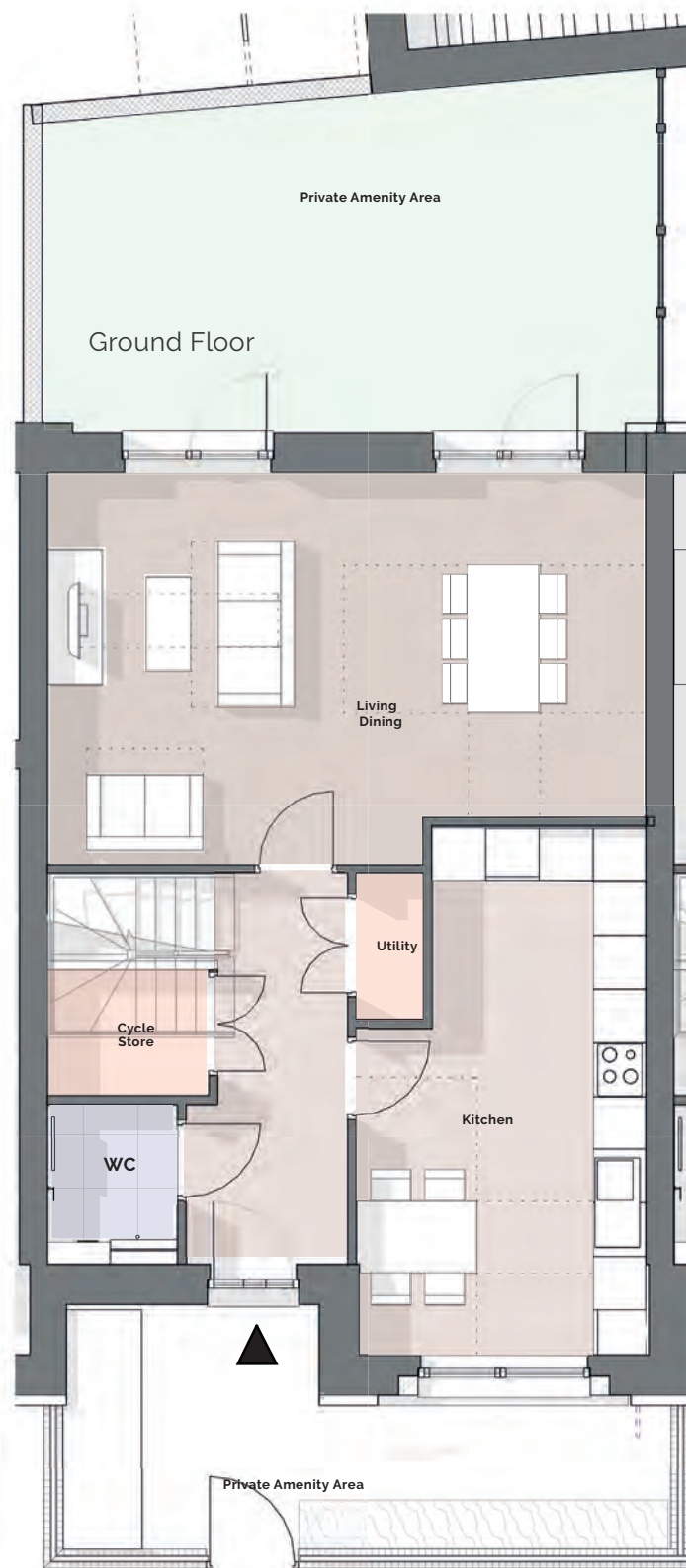
1B2P Type 3  
Area provided: 53 sqm  
Minimum Area Required: 50 sqm (Private)



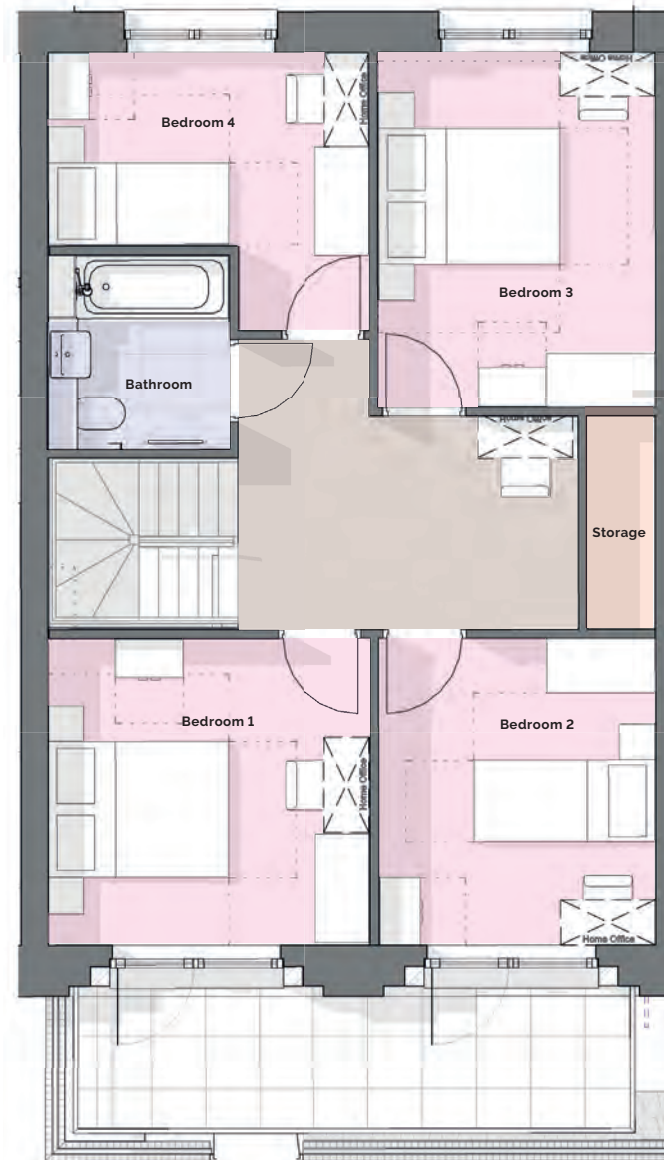
2B3P Type 2  
Area provided: 73 sqm  
Minimum Area Required: 64 sqm (Private)

## 8.2 Subplot S03

### New Housing Typologies



First Floor



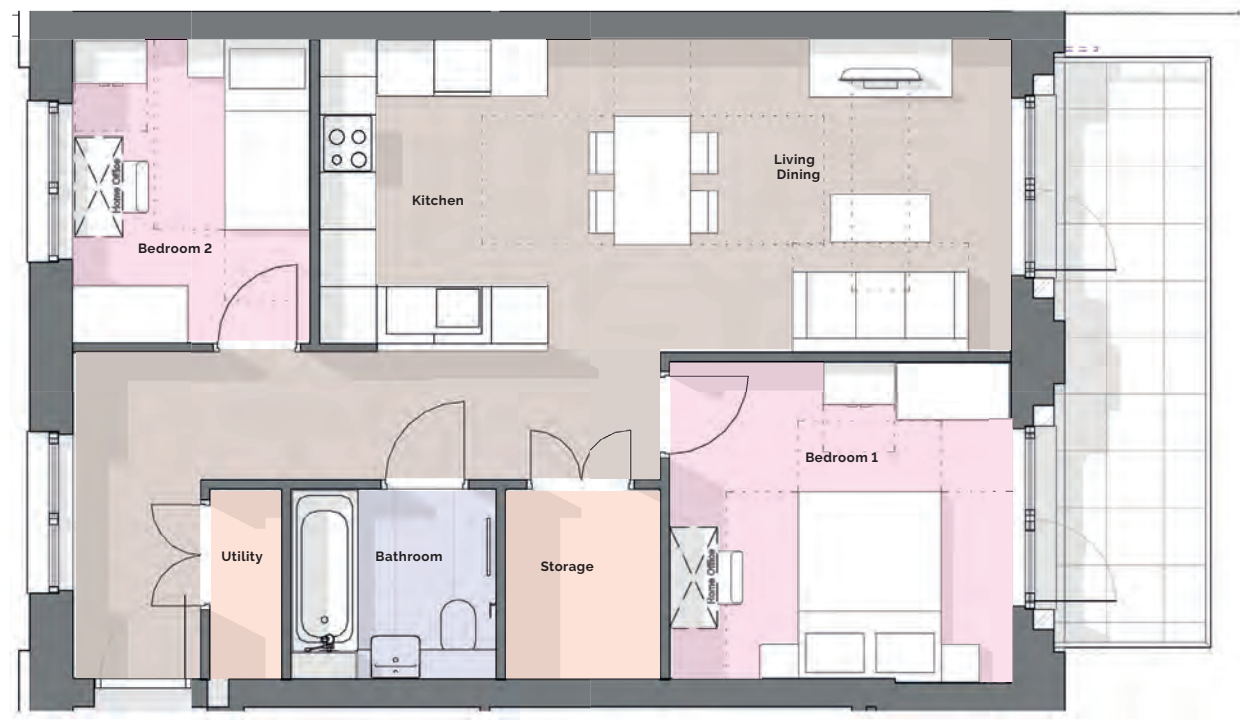
4B6P-M

Area Provided: 129 sqm

Minimum Area required: 107 sqm (Social Rent)

## 8.2 Subplot S03

### New Housing Typologies



2B3P Type 3  
Area provided: 66.5 sqm  
Minimum Area Required: 63 sqm (Shared Ownership)

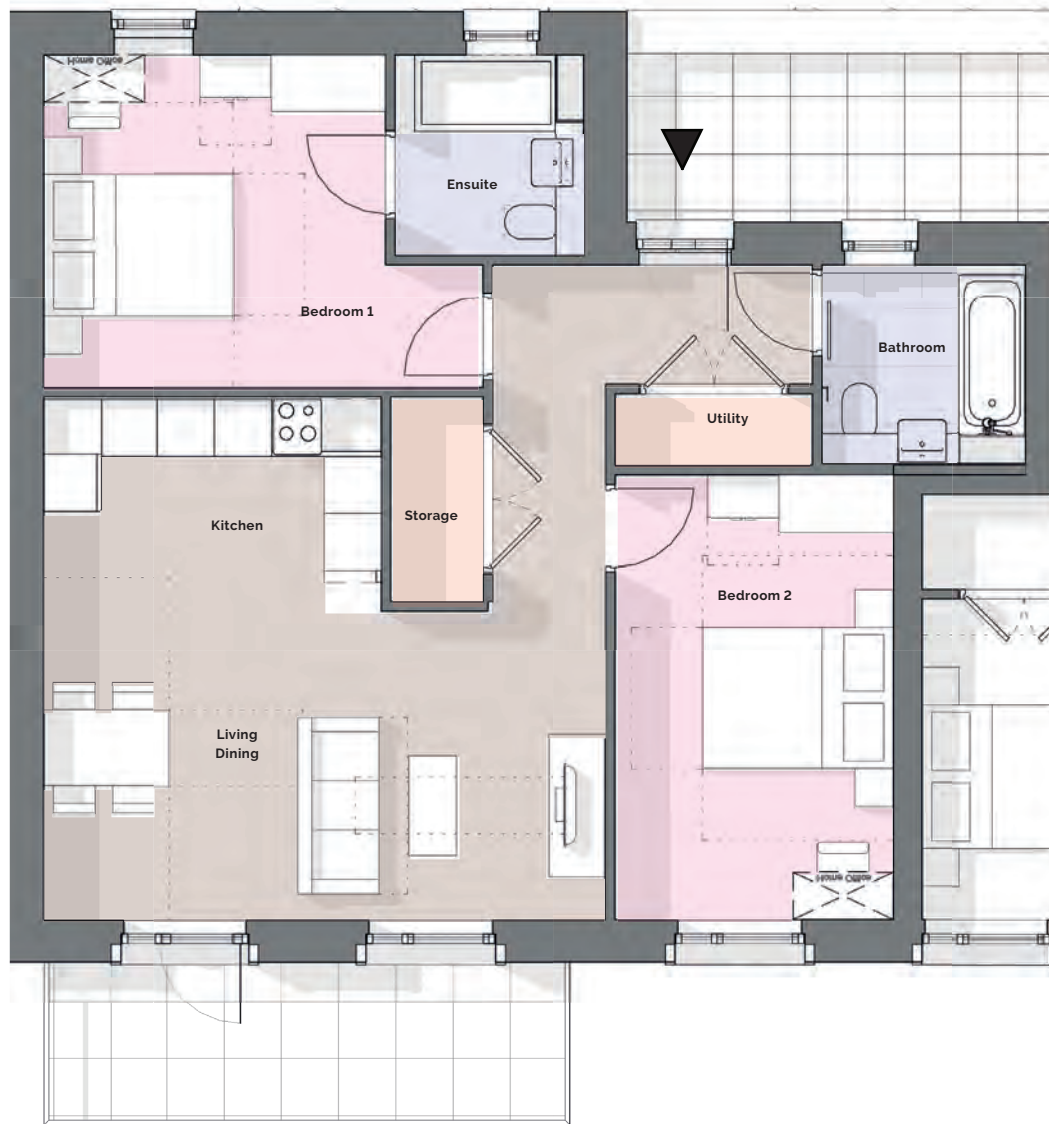
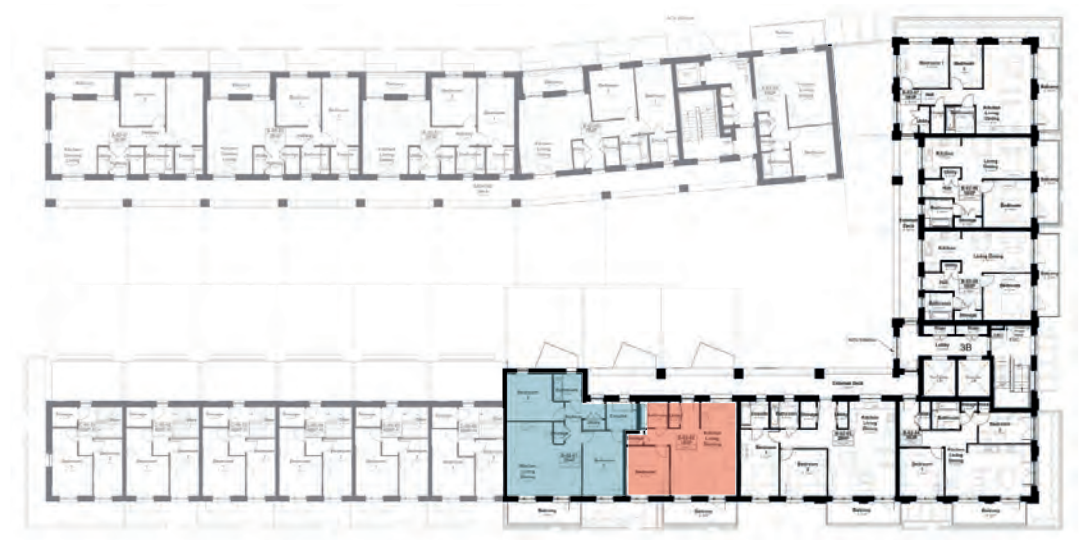


2B4P Type 1  
Area provided: 81 sqm  
Minimum Area Required: 77 sqm (Shared Ownership)



## 8.2 Subplot S03

### New Housing Typologies



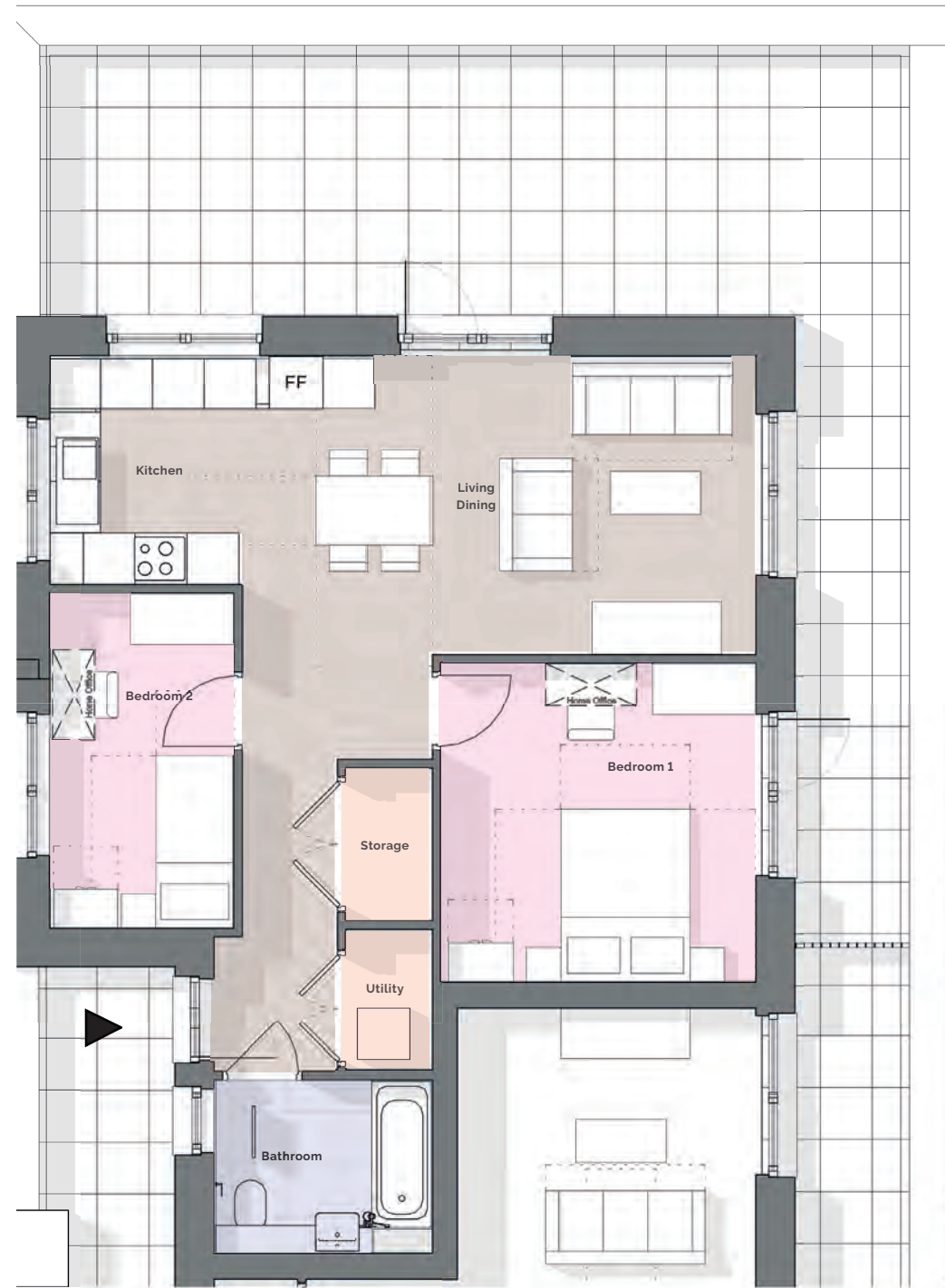
■ 2B4P Type 2  
Area provided: 77 sqm  
Minimum Area Required: 77 sqm (Shared Ownership)



■ 1B2P Type 2  
Area provided: 52 sqm  
Minimum Area Required: 50 sqm (Shared Ownership)

## 8.2 Subplot S03

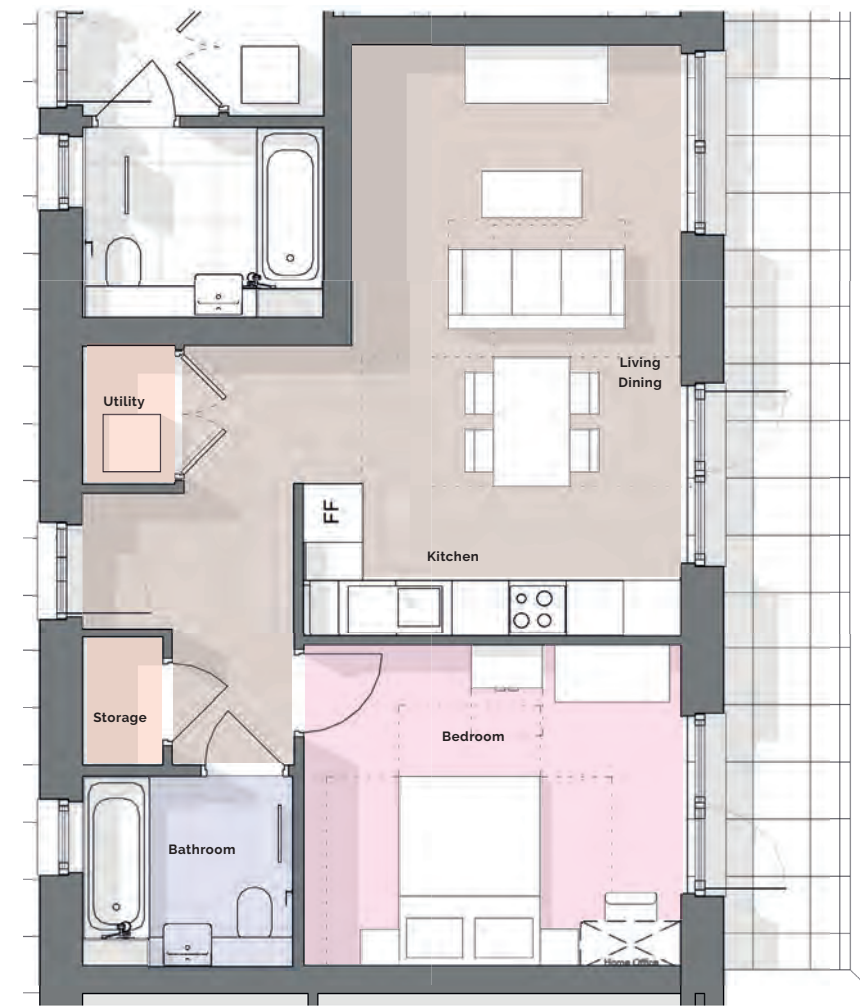
### New Housing Typologies



2B3P Type 4

Area provided: 66 sqm

Minimum Area Required: 63 sqm (Shared Ownership)



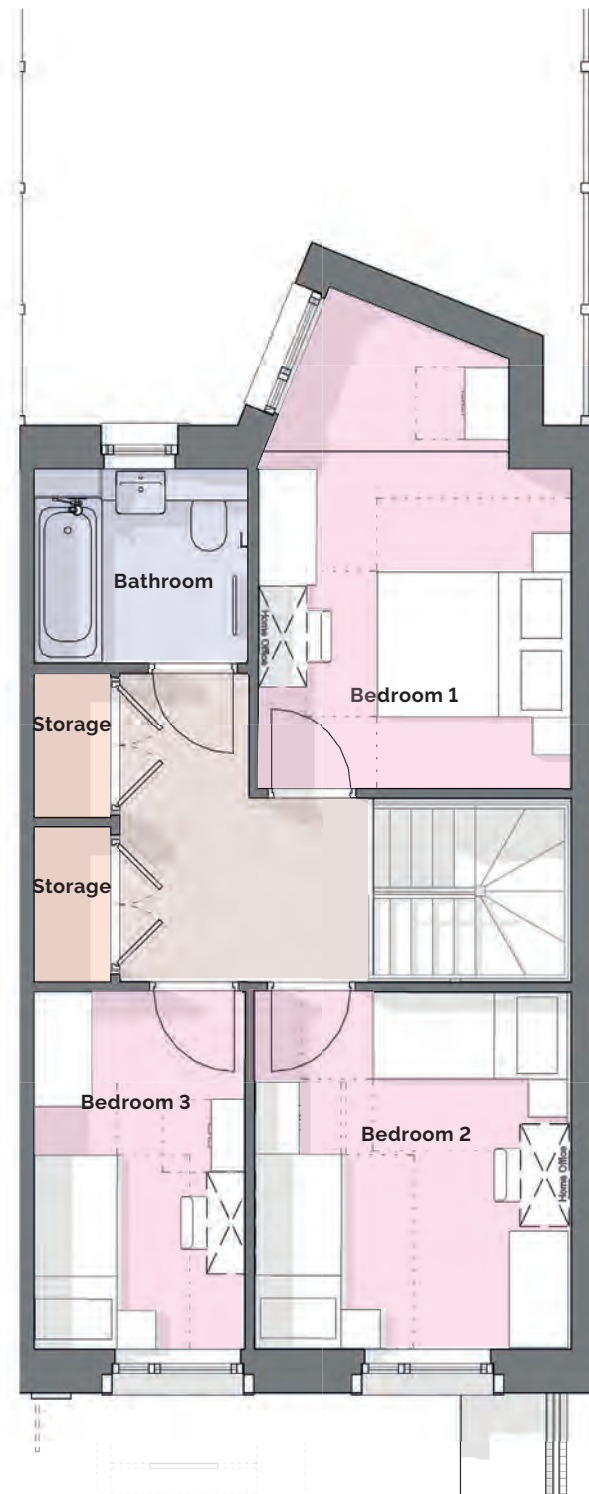
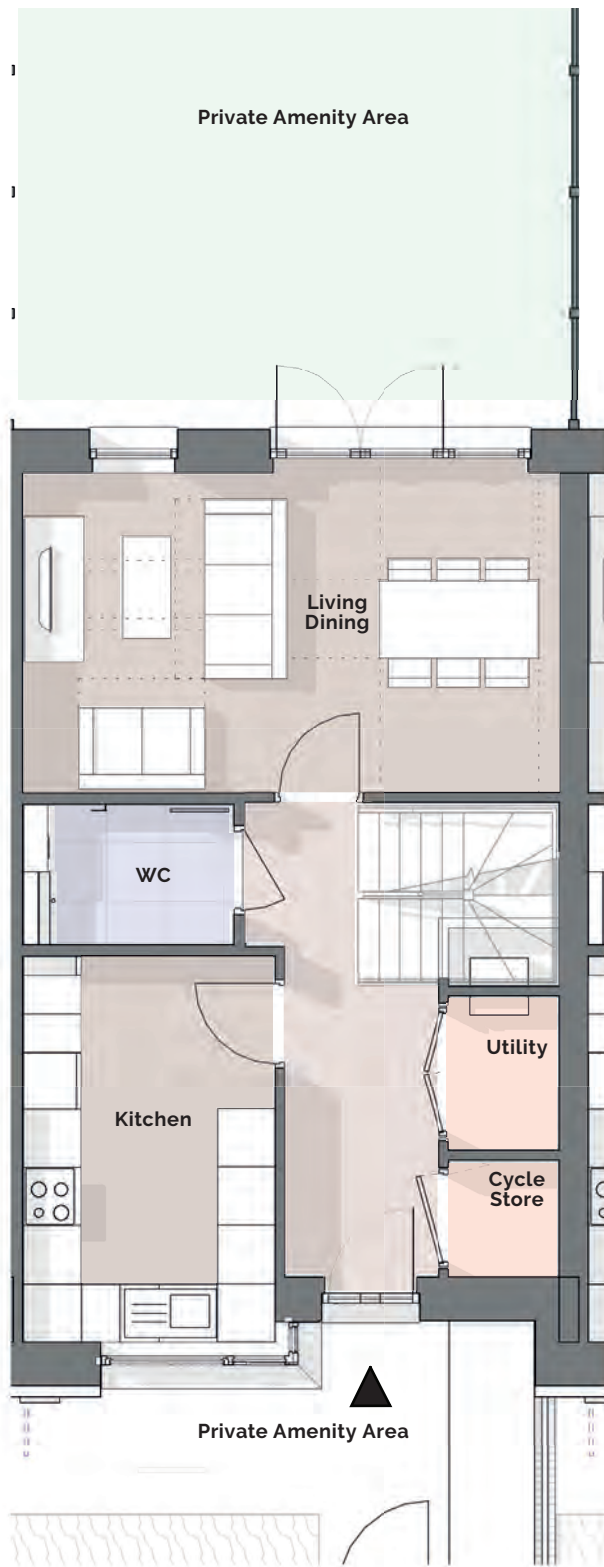
1B2P Type 4

Area provided: 52 sqm

Minimum Area Required: 50 sqm (Shared Ownership)

## 8.2 Subplot S03

### New Housing Typologies



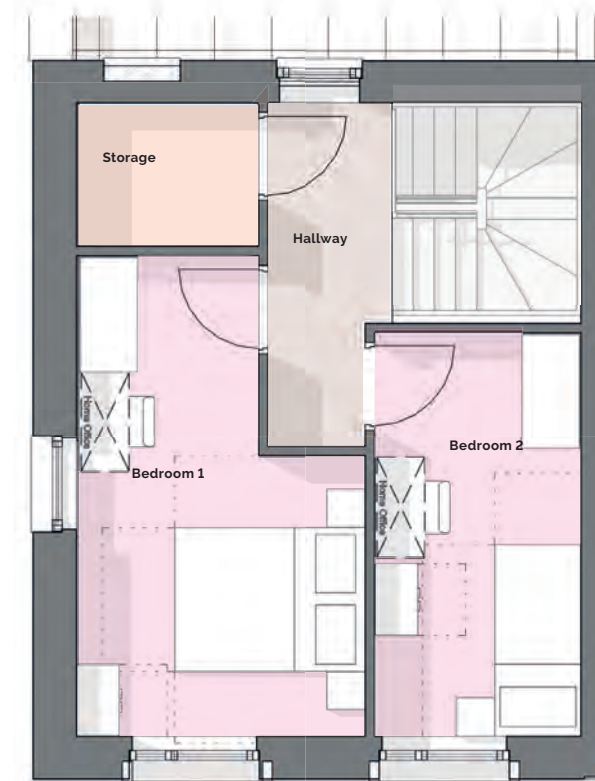
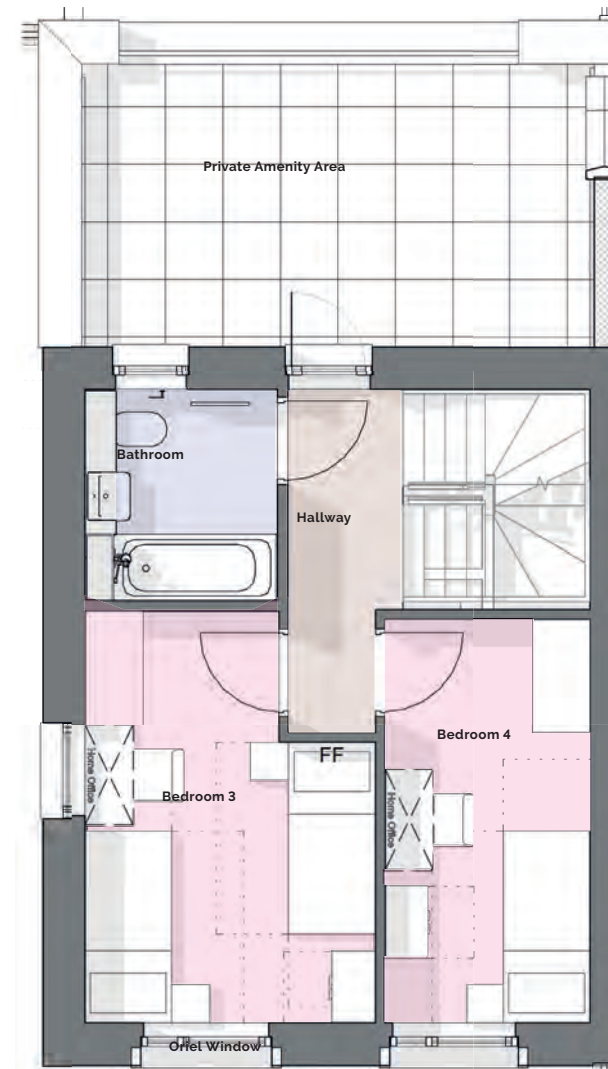
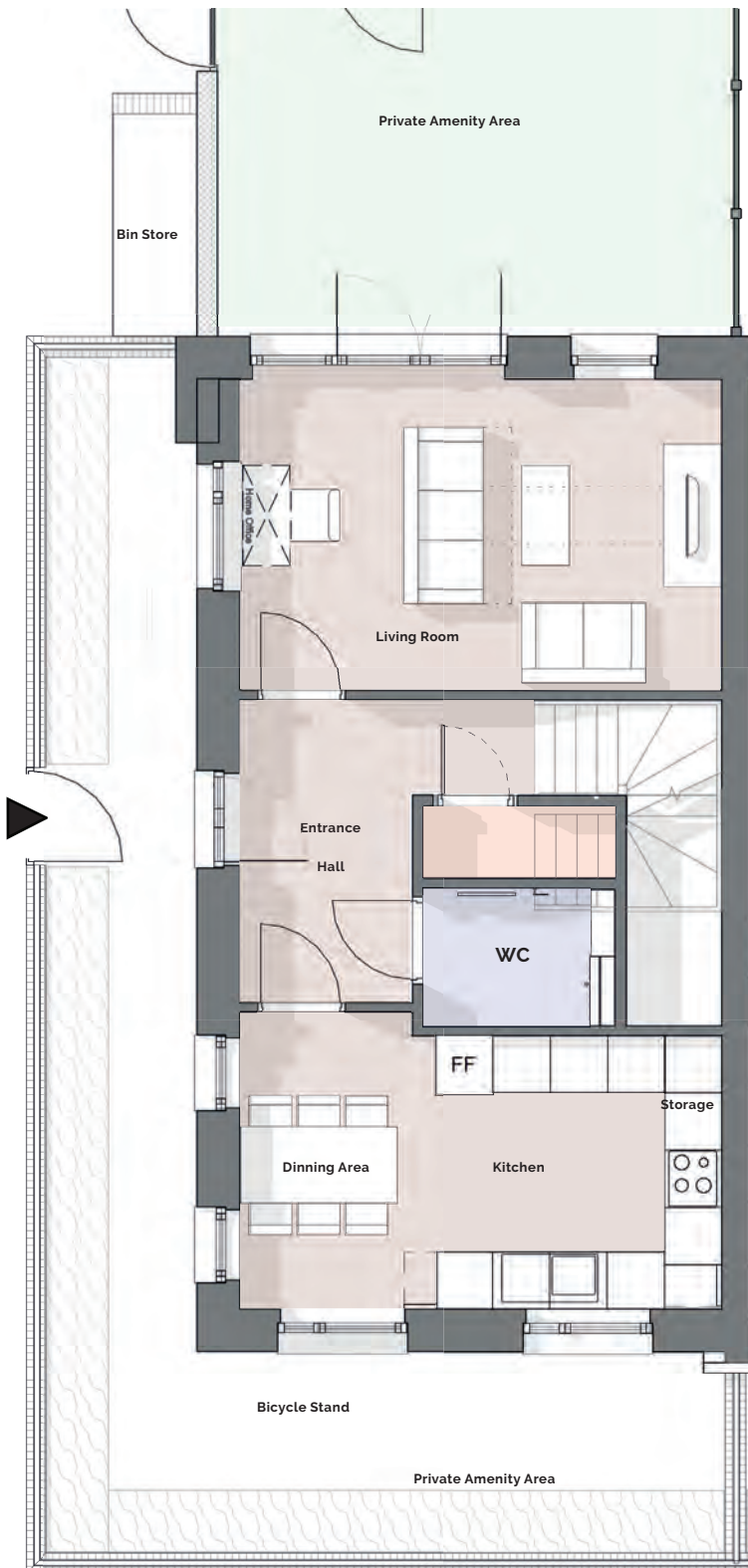
3B5P Type 1

Area provided: 102 sqm

Minimum Area Required: 96 sqm (Social Rent)

## 8.2 Subplot S03

### New Housing Typologies



4B6P Type 2

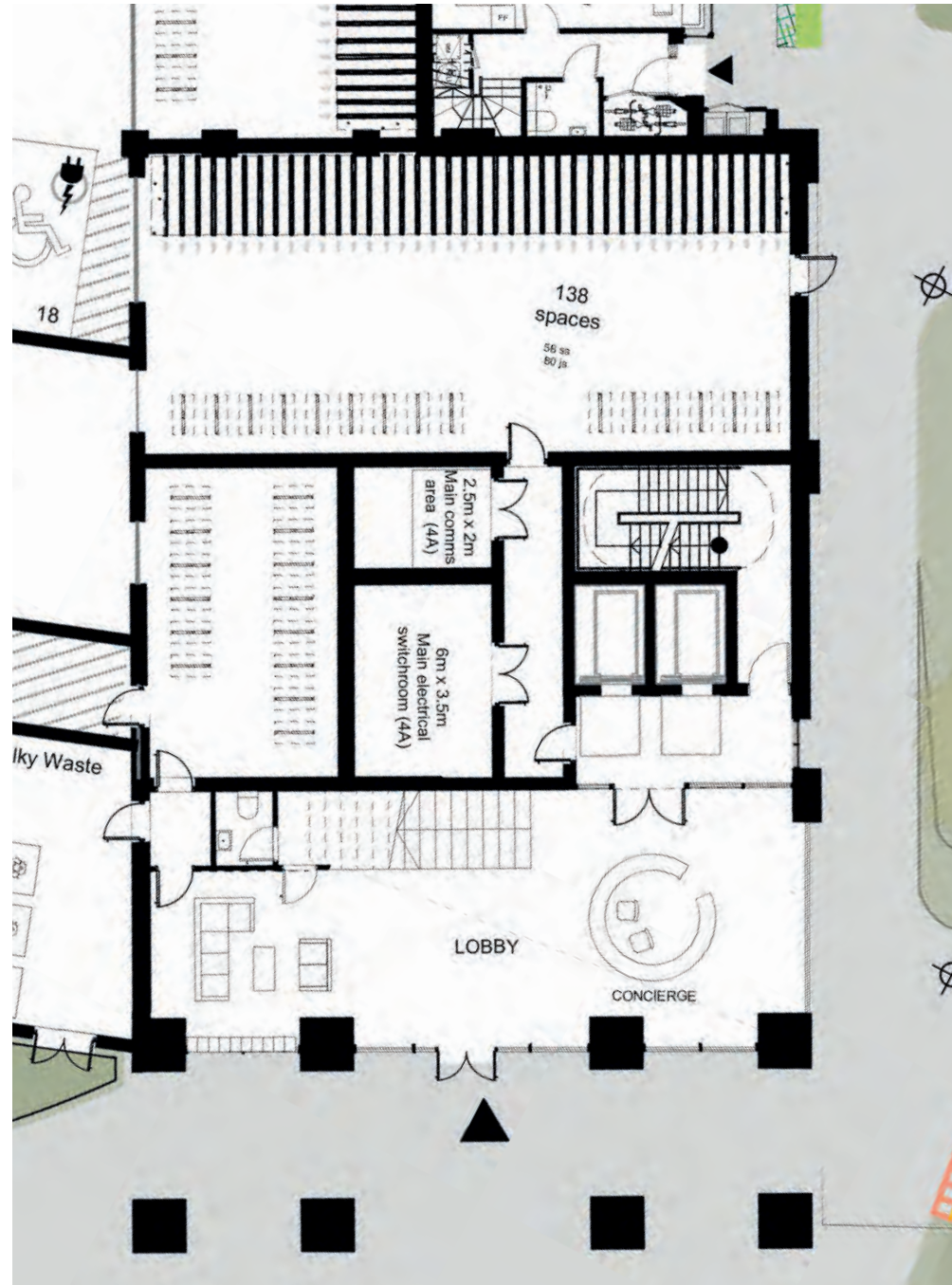
Area provided: 119 sqm

Minimum Area Required: 113 sqm (Social Rent)

### 8.3 Subplot S04

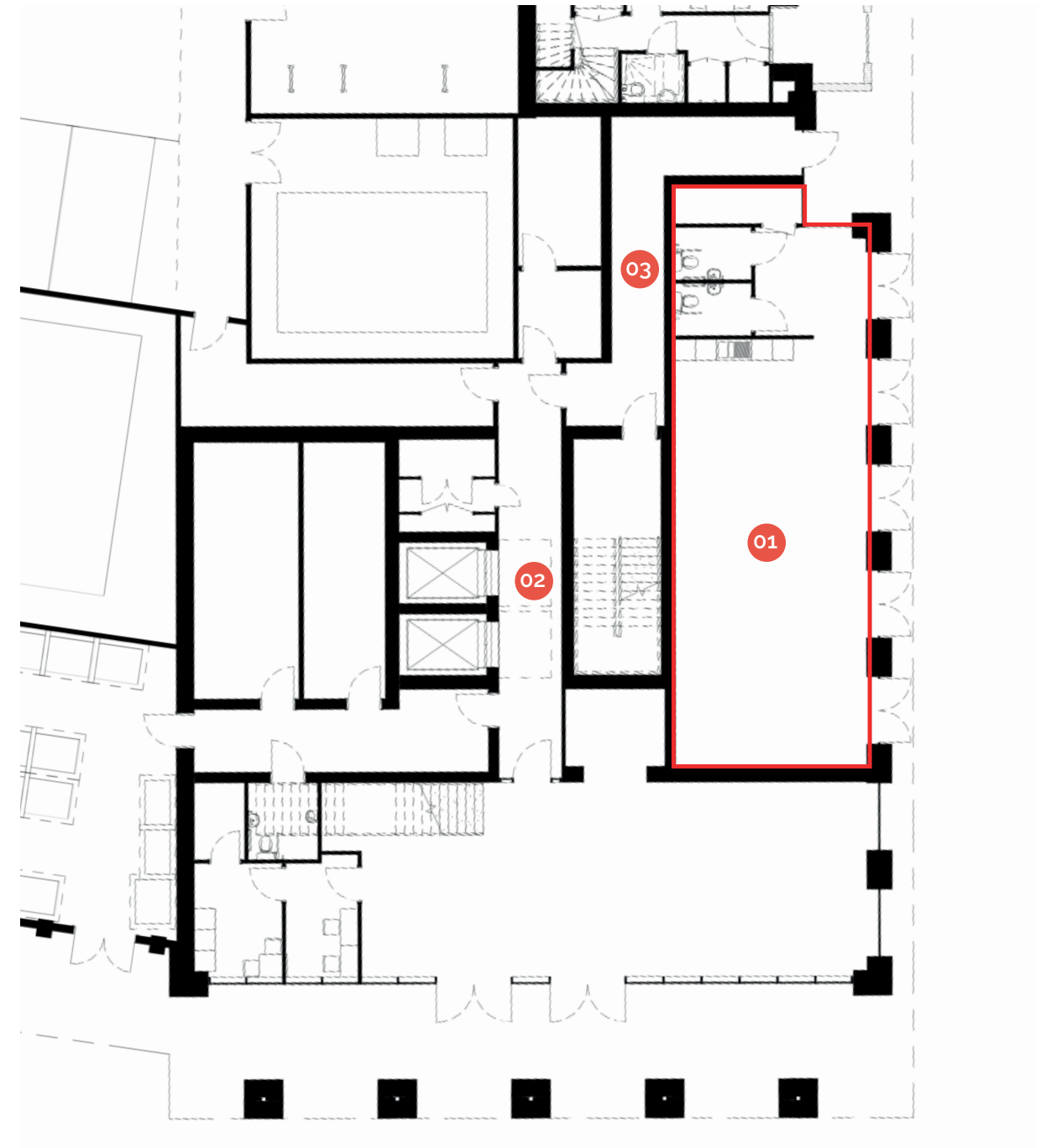
#### Block 4A Core

EXTANT CONSENT



Block 4A - Ground Floor Plan

PROPOSED AMENDMENTS



Block 4A - Ground Floor Plan

1. Addition of marketing suite / commercial space opening onto Portland Park (use class E)
2. Core relocated to the centre of the block
3. Additional direct fire escape passageway

# 8.3 Subplot S04

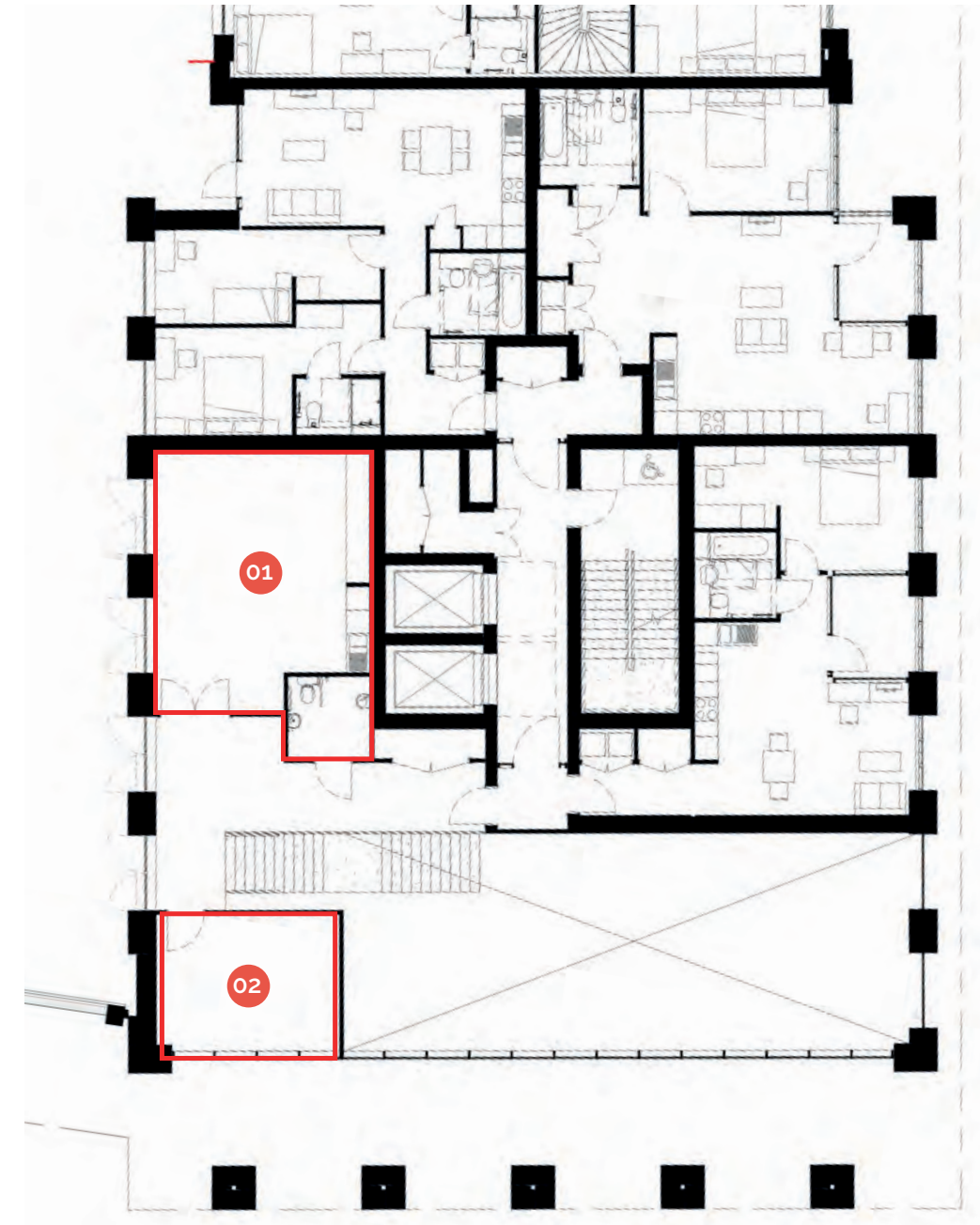
## Block 4A Core

EXTANT CONSENT



Block 4A - First Floor Plan

PROPOSED AMENDMENTS



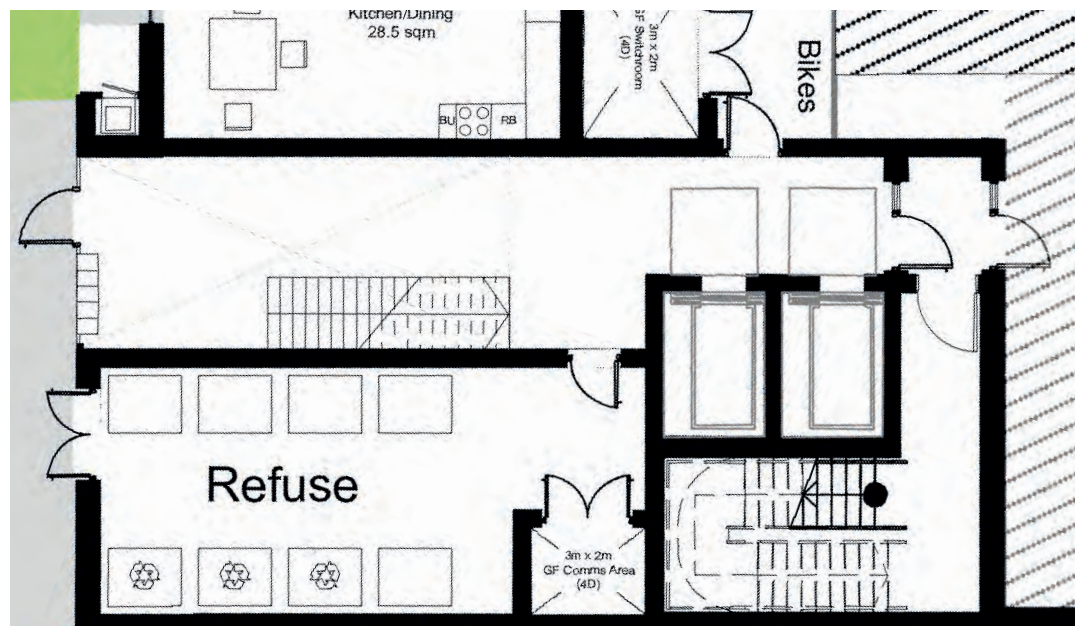
Block 4A - First Floor Plan

1. Addition of community room and accessible WC with access to landscaped podium
2. Addition of parcel room

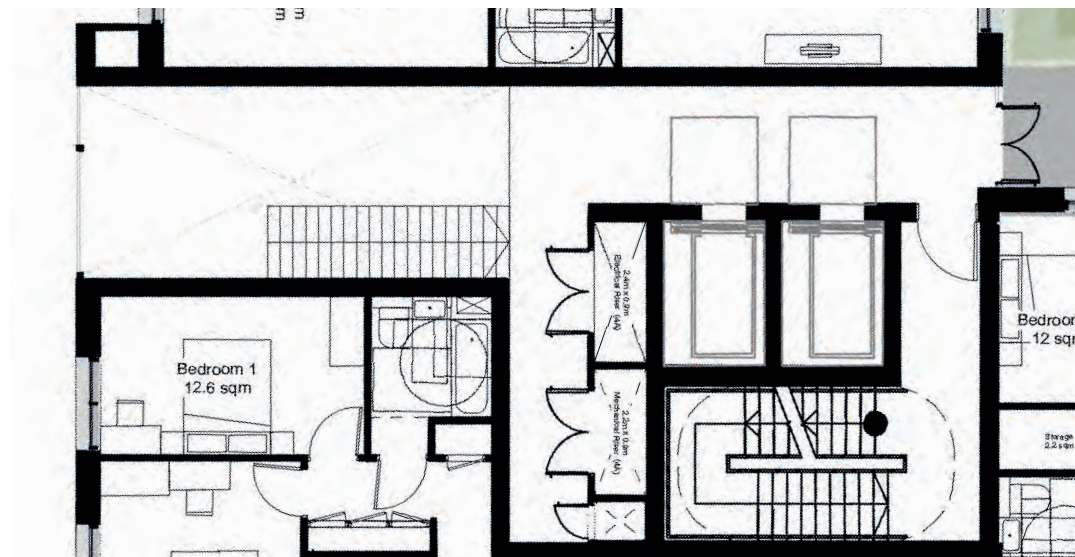
### 8.3 Subplot S04

#### Block 4B,C,D,E Cores

EXTANT CONSENT

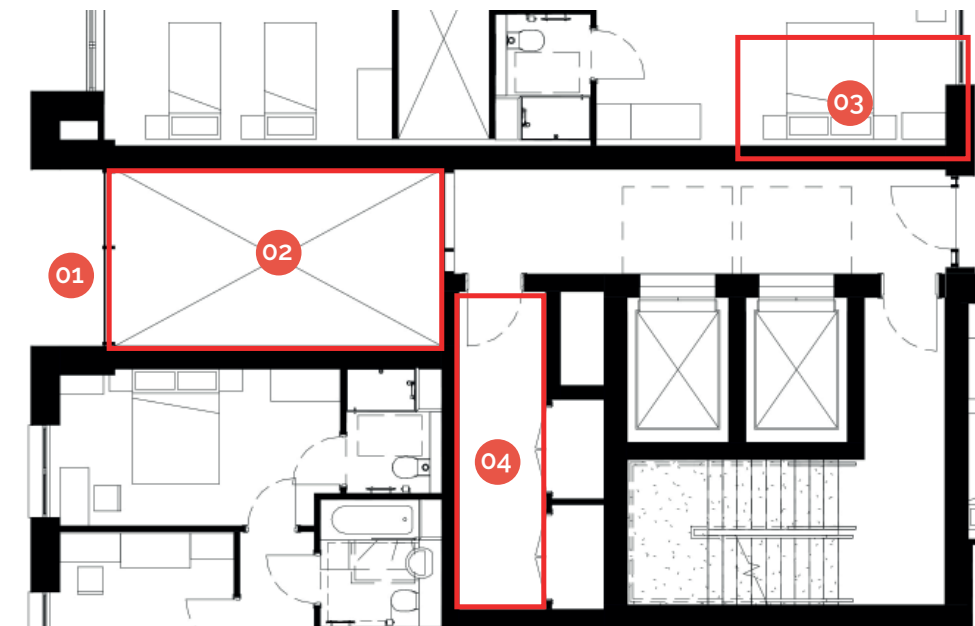


Block 4D - Communal Entrance Ground Floor Plan

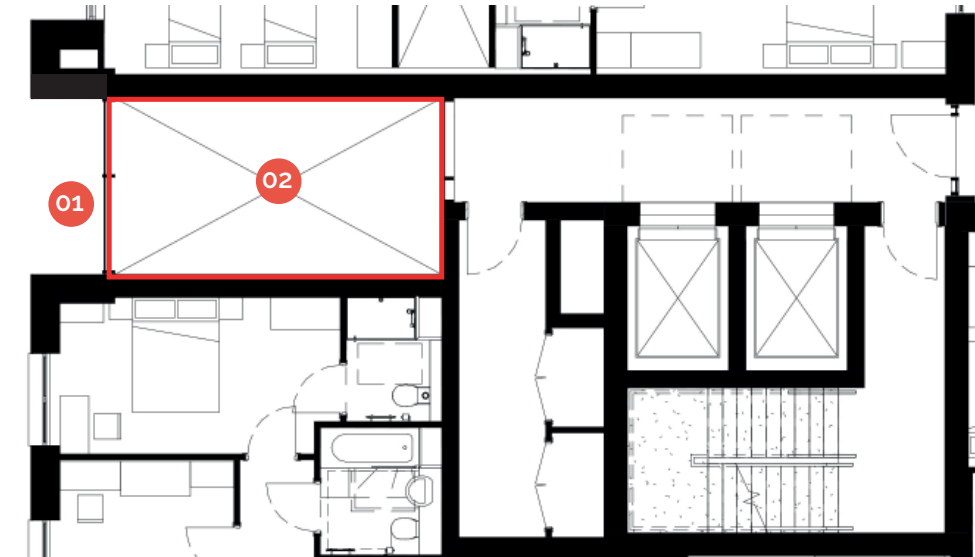


Block 4D - Communal Entrance First Floor Plan

PROPOSED AMENDMENTS



Block 4D - Communal Entrance Ground Floor Plan



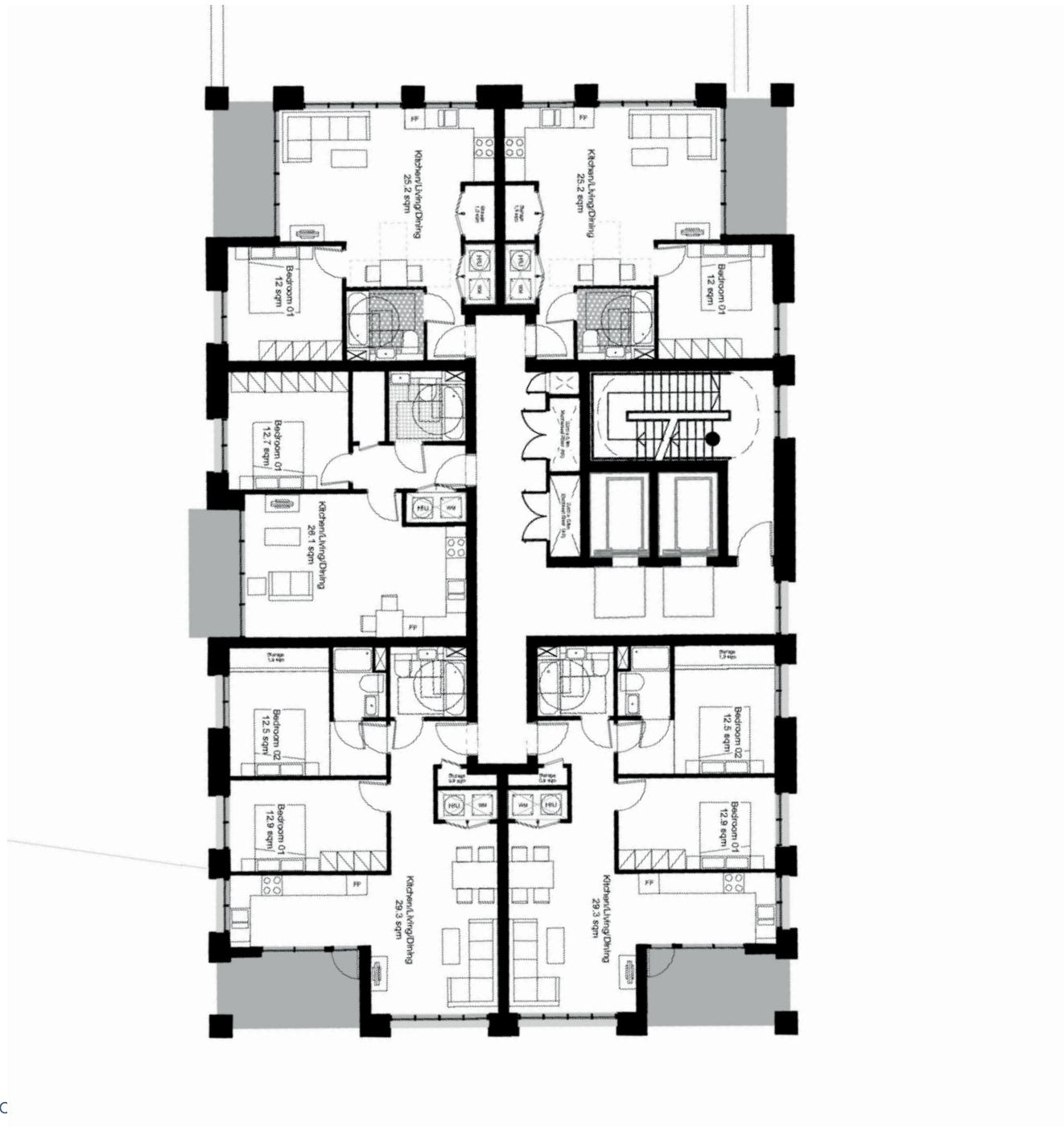
Block 4D - Communal Entrance First Floor Plan

1. Recess introduced to provide min 1200mm M4(3) covered entrance
2. Accommodation stair replaced with secure post lobby introduced to prevent tailgating and for fire safety
3. Ventilated lobby enlarged to comply with part M.
4. Lobby introduced to bin and cycle stores for fire safety

# 8.4 Subplot S04

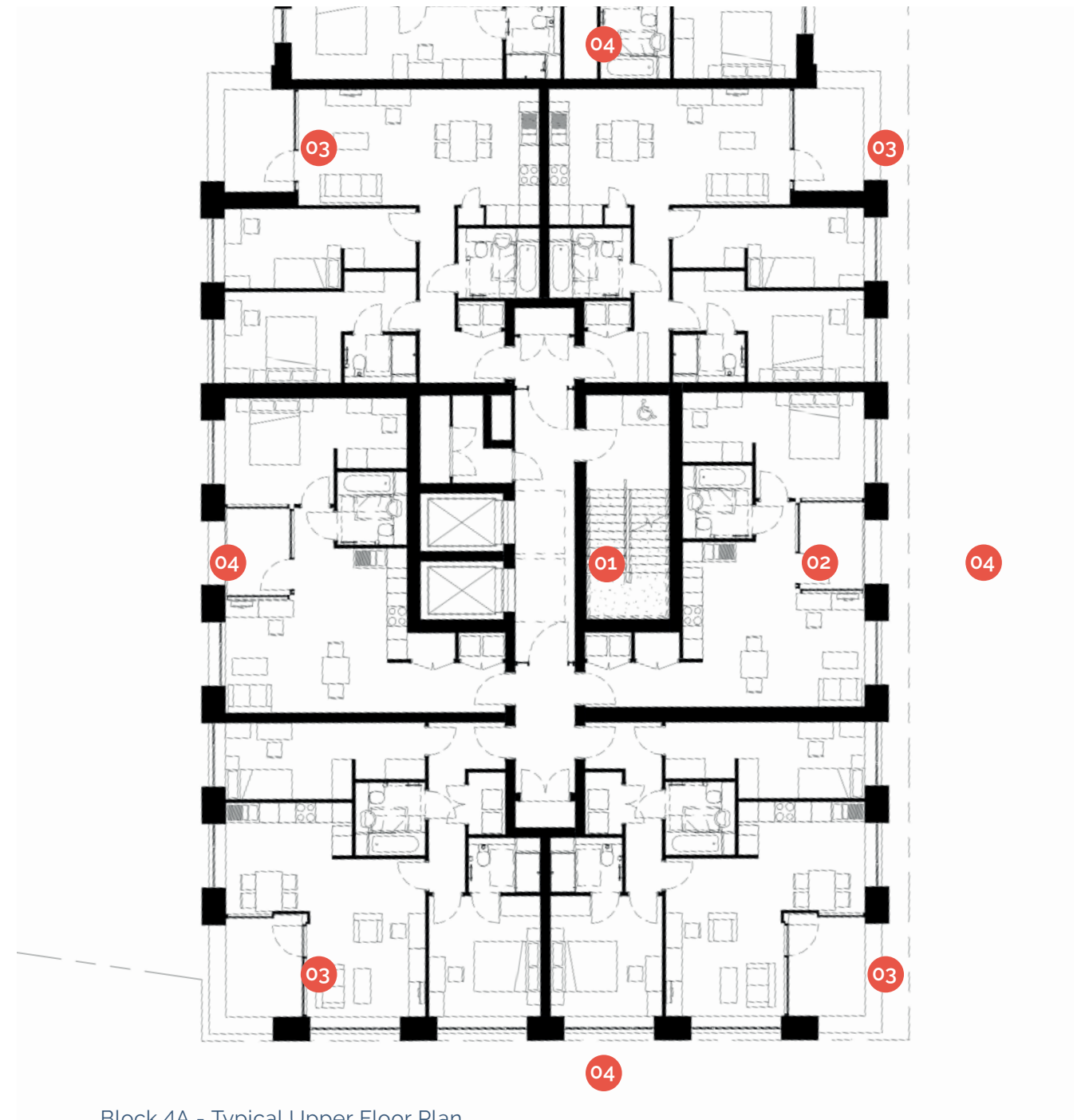
## Block 4A Housing Typologies

EXTANT CONSENT



B1c

PROPOSED AMENDMENTS



Block 4A - Typical Upper Floor Plan

- 1. Core moved to the centre
- 2. Additional apartment added per floor
- 3. Open corners introduced
- 4. Rationalised symmetrical elevations



## 8.4 Subplot S04

### Block 4B Housing Typologies

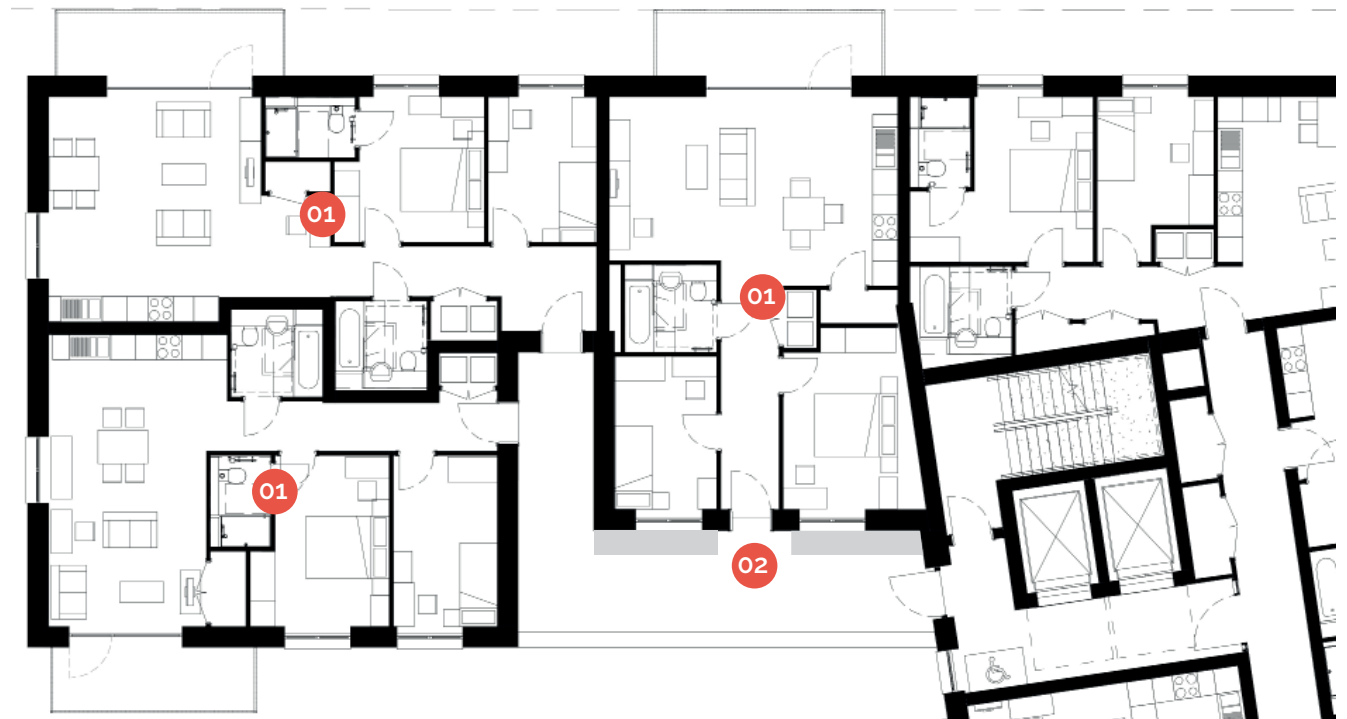
EXTANT CONSENT



Block 4B - Typical Upper Floor Plan

1. 2B4P duplex apartment
2. 2B3P lateral apartment

PROPOSED AMENDMENTS



Block 4B - Typical Upper Floor Plan

1. 2B3P lateral apartment
2. Defensible planters introduced





# 8.1 Accessibility and Wheelchair Housing

## Accessibility

33 wheelchair dwellings are provided in Subplot S04, distributed across the blocks to offer range of different types and tenures.

There are no wheelchair units in Subplot S03.

All wheelchair dwellings have been designed to comply with the Building Regulations Approved Document Part M4(3). They also meet the 'Base Specification' requirements outlined in the development agreement which generally follow the South East London Housing Partnership Wheelchair Homes Design Guidelines. Other documents that have been referenced include the Mayor of London's Supplementary Planning Guidance (SPG) and Aylesbury Area Action Plan.



Subplot S04 First Floor Plan



Subplot S04 Typical Upper Floor Plan



	SUMMARY																			
	Private Sale						Shared Ownership						Social Rent							
	Flats			Maisonettes			Flats			Maisonettes			Flats			Maisonettes				
	1B2P	2B3P	2B4P	3B5P/6P	2B4P-M	3B5P/6P-M	1B2P	2B3P	2B4P	3B5P/6P	2B4P-M	3B5P/6P-M	1B2P	2B3P	2B4P	3B5P/6P	2B4P-M	3B5P/6P-M		
Building 4A	1																			1
Building 4B		10																		10
Building 4C							2		2											4
Building 4D														16	2					18
Building 4E																				0
Grand Total Units	1	10	0	0	0	0	2	0	2	0	0	0	0	16	2	0	0	0	0	33
Total Mix (%)	3%	30%	0%	0%	0%	0%	6%	0%	6%	0%	0%	0%	0%	48%	6%	0%	0%	0%	0%	0%
Tenure Split (%)	33%						12%						55%						0%	
Tenure Split (Units)	11						4						18						0	

Wheelchair Units Summary Schedule

## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 1

1B2P

Location: Block 4A Level 01



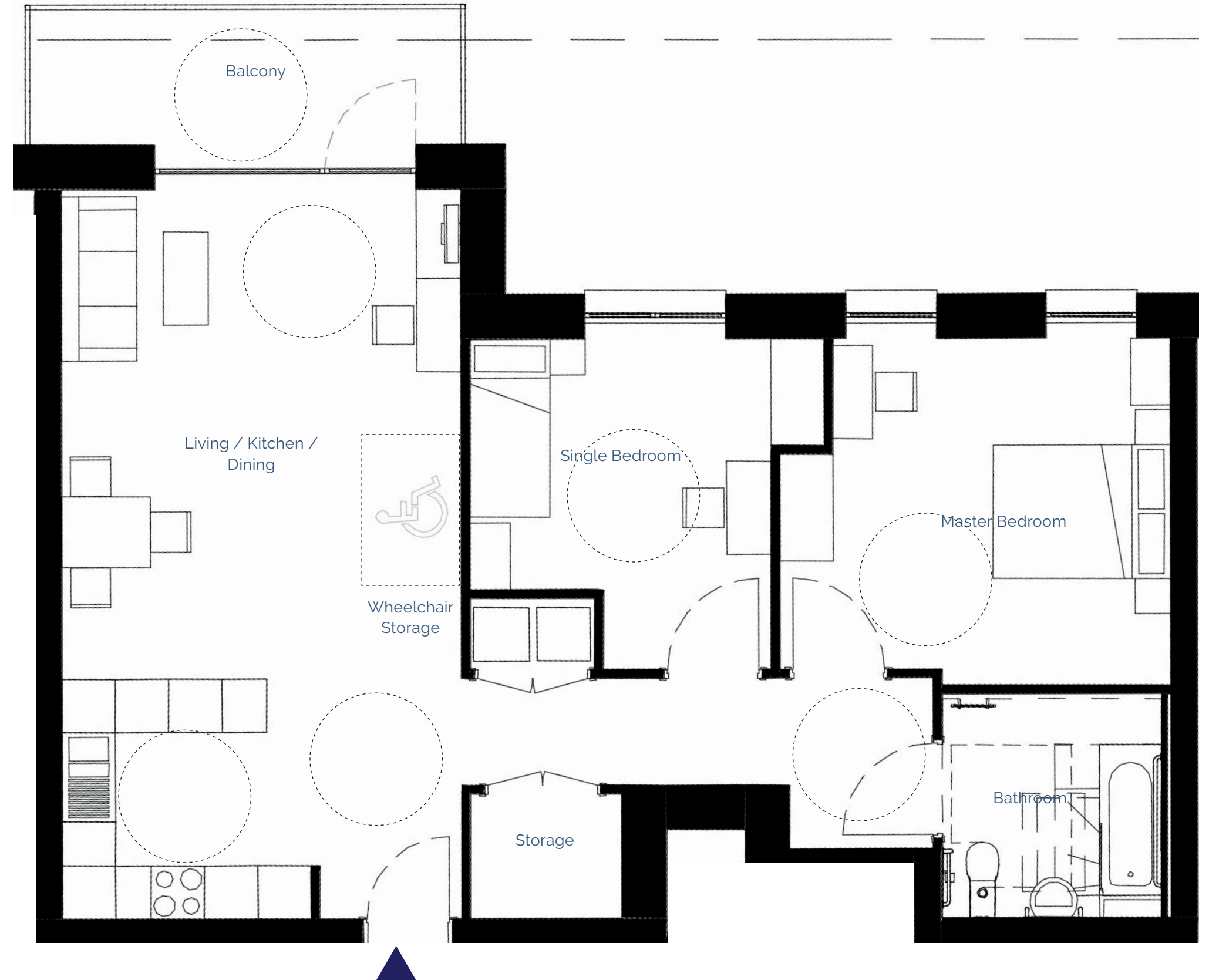
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 2

2B3P

Location: Block 4B Level 02 to Level 06



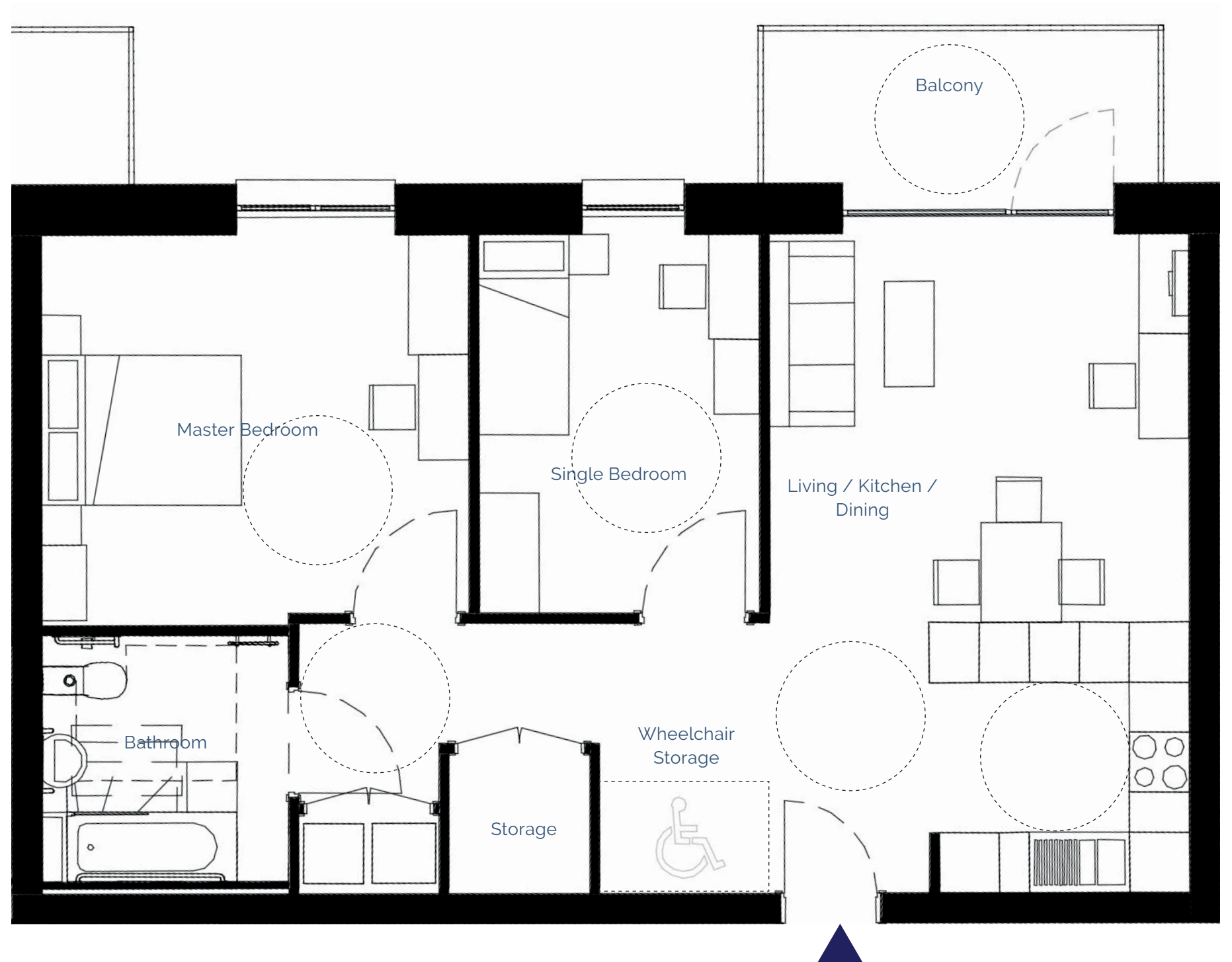
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 3

2B3P

Location: Block 4B Level 02 to Level 06



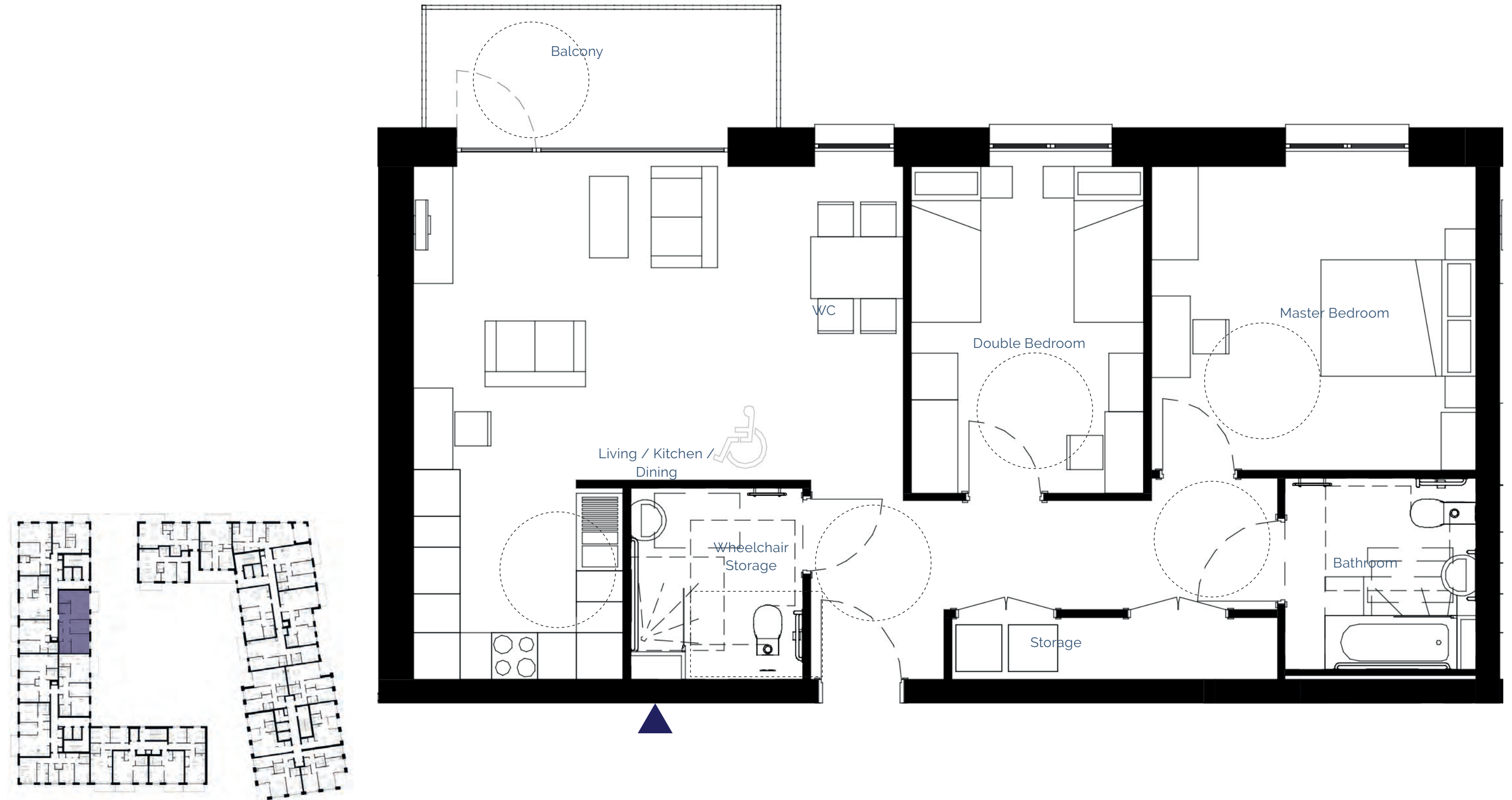
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 4

2B4P

Location: Block 4C Level 02 to Level 03





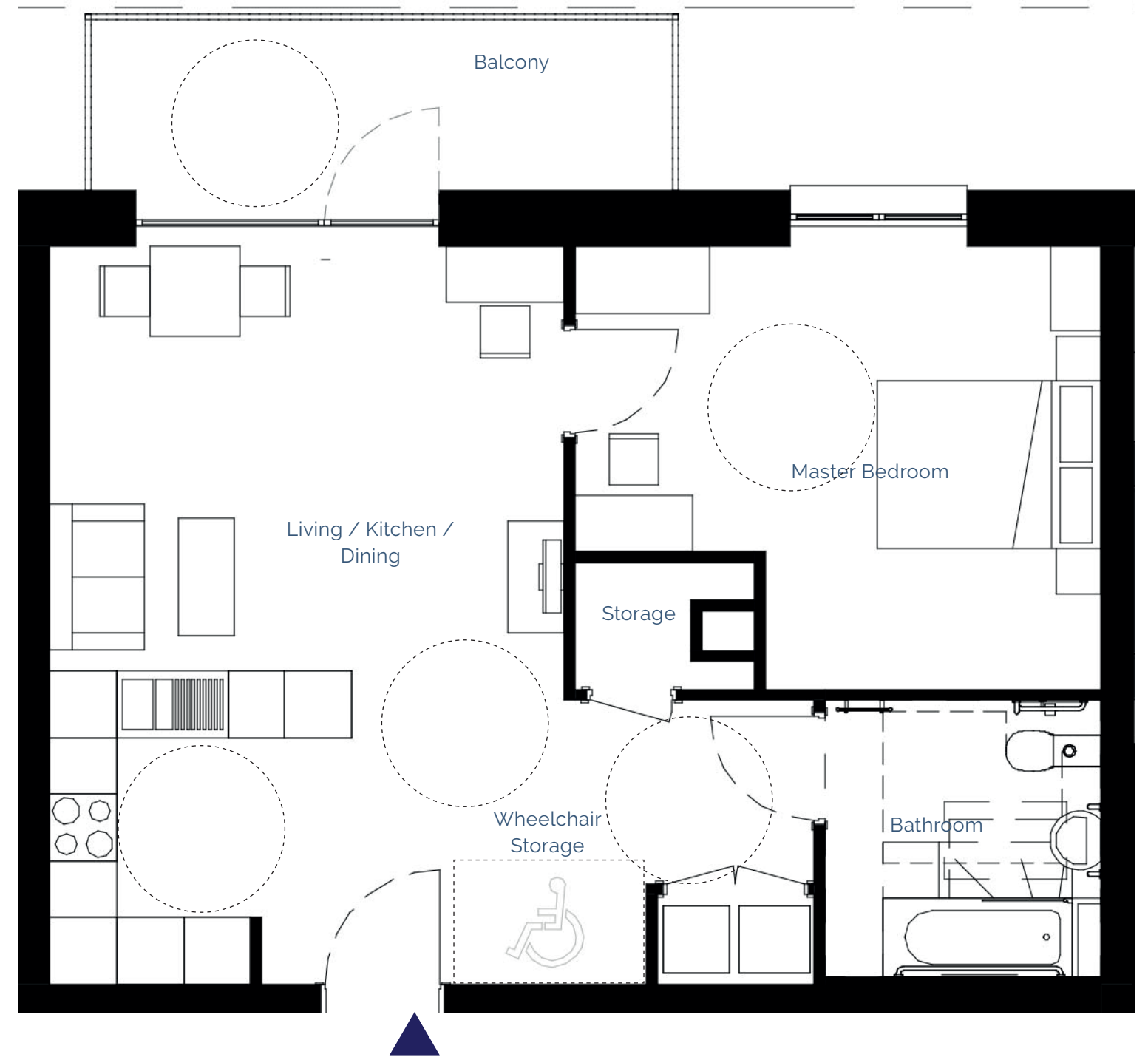
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 5

1B2P

Location: Block 4C Level 02 to Level 03



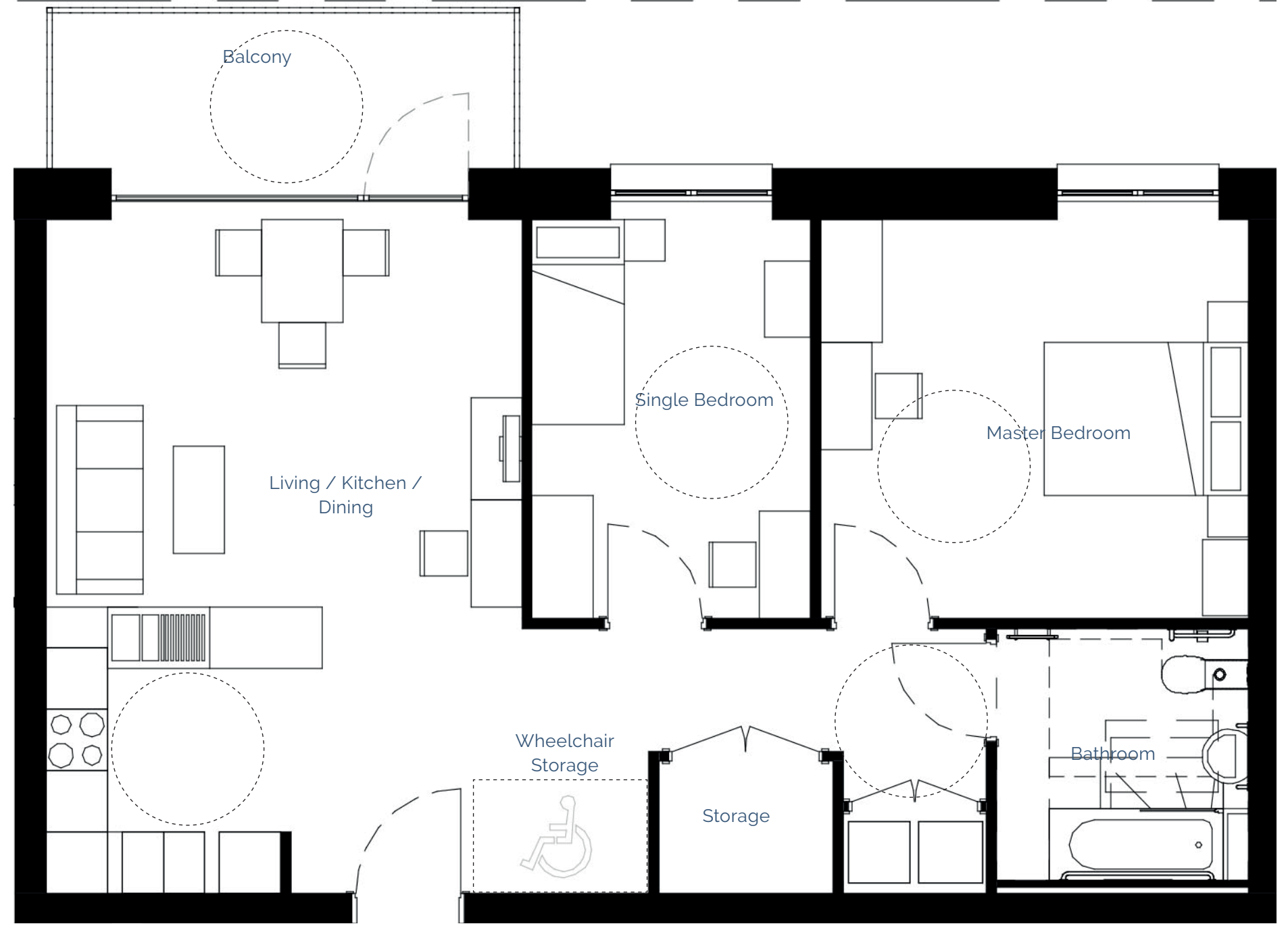
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 6

2B3P

Location: Block 4D Level 02 to Level 09



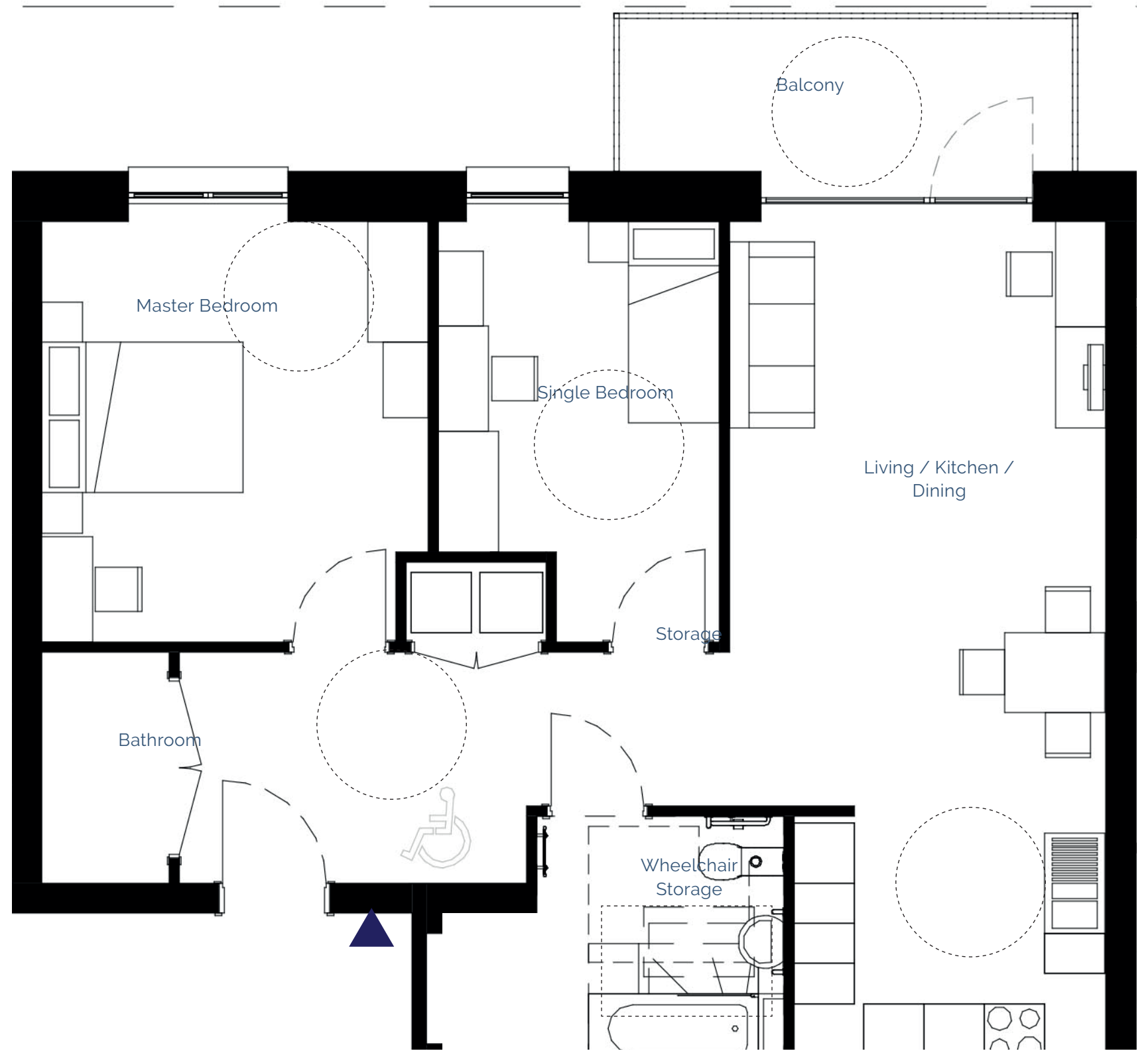
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 7

2B3P

Location: Block 4D Level 02 to Level 09



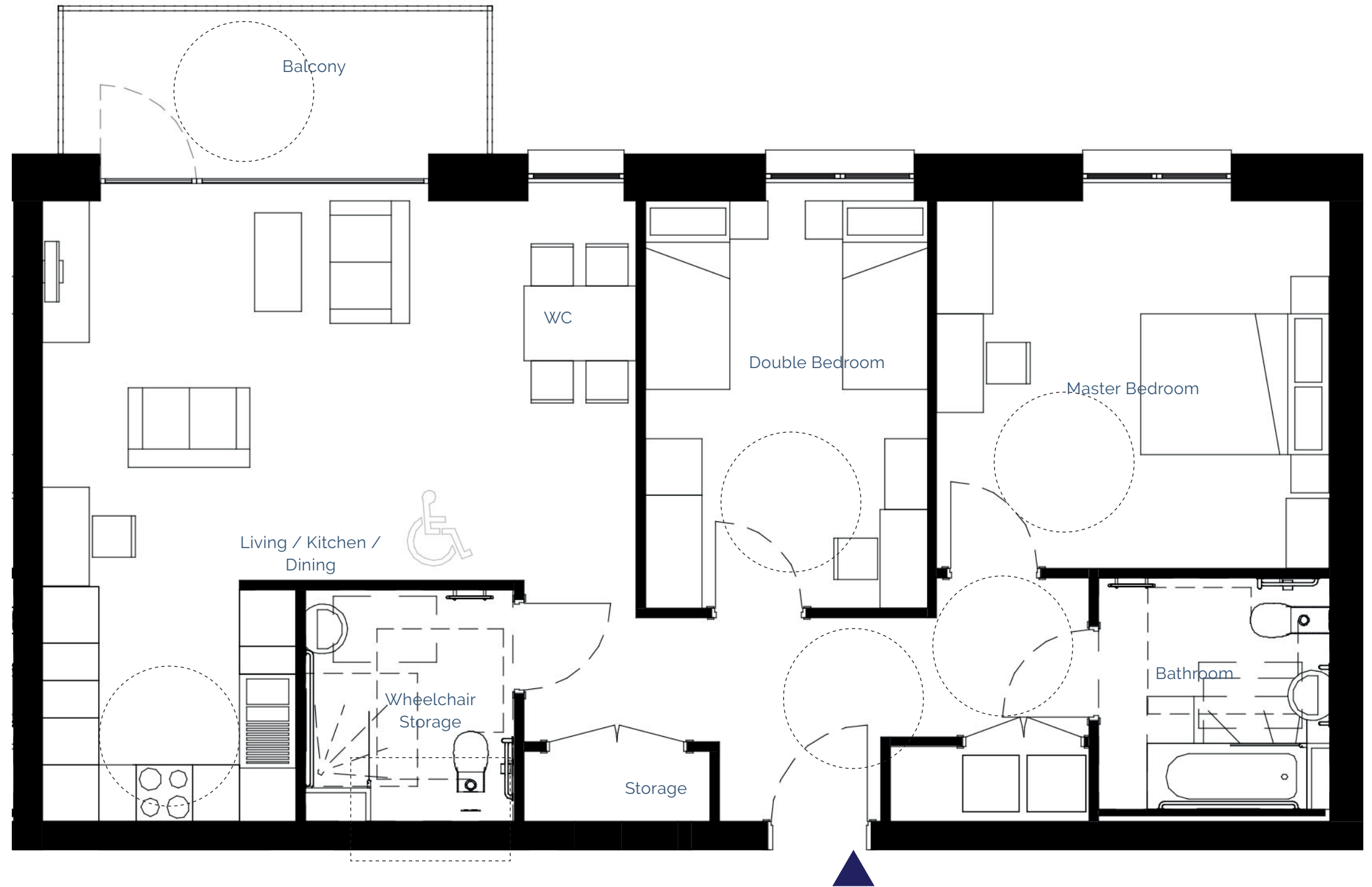
## 8.2 Accessibility and Wheelchair Housing

### Wheelchair Unit Layout

Wheelchair Unit Type 8

2B4P

Location: Block 4D Level 02 to Level 09



## 8.3 Accessibility and Wheelchair Housing

### Inclusive Design

#### Entrances

The main entrances have been designed to be accessible to every occupant. In addition the main entrance doors will:

- Be at least 900mm wide between door stops (clear opening)
- Have a level landing outside
- Have a level threshold (max 15mm change in level)
- Have door controls and handles that are easy to see and at a height which can be reached by wheelchair users (no higher than 1000mm from floor level)
- Have at least 300mm alongside the leading edge of all doors to enable wheelchair users to open the door.
- Have a warning strip or logos at eye level for safety.
- Full glass doors and full height, large areas of glazing, can present particular access barriers for some disabled people. We aim to provide logos or safety markings at two heights, eye level (approximately 1,500mm from floor level for adults) and child/ wheelchair user (approximately 1,200mm to make them visible).
- Where any external entrances are locked or unattended it is important to ensure access for all. In these situations an intercom will be provided. We propose that intercoms are:
  - At wheelchair accessible height (between 750mm and 1000mm from floor level)
  - Have a solution to provide access for deaf people (links to a CCTV, minicom or video are useful for deaf visitors.)

The entrance lobbies to the residential cores have been designed to allow, a wheelchair user to clear the outer door before opening the inner door.

We also highlight the importance of the lighting to the entrance lobbies, which will need to be sufficient to help people adjust to changes in light between the outdoors and indoors.

#### Circulation

The circulation areas have been designed to ensure unobstructed access. The design considerations that have been taken into account are:

- All walkways have been designed to accommodate a minimum width of 1500mm with no obstructions such as furniture or fire extinguishers. Regular passing places with a width of 1800mm are provided and areas in front of lifts are typically provided at 2000mm wide.

We propose that all doors will:

- Have a minimum width of 900mm (between door stops) when fully open
- Be fitted with vision panels to enable people to see and be seen
- Will be fitted with lever type handles or 'D' pull handles at a height appropriate for a wheelchair user (1000mm from floor level)
- Be light enough to be used by disabled people with limited mobility or strength

#### Stairs

Stairs will:

- Be slip-resistant
- Have a tactile surface to indicate the beginning and end of the flight
- Be well lit and include natural lighting where ever possible
- Have the nosing strip of each step in a contrasting tone/colour to the tread (and

ideally the risers should be of a different colour to the treads)

Handrails for stairs will be at a height of 900mm (1000mm at landings) on both sides running the entire length to enable those with a weakness on one side to use them.

#### Toilets/Showers

These spaces have been designed to BS8300: 2001 and the requirements of Part M3 of the Building Regulations.

#### Signage and Navigation

We have developed the planning of the buildings to be simple and intuitive as the ability to navigate independently around a building is dependent upon the basic building layout. We propose that any signage should be grounded in the following:

- The content of signs and information is written concisely and in plain English
- Rules for clear print are followed (contrast between text and background colours, large enough text and easy-to-read fonts)
- Simple illustrations or pictograms and symbols should be incorporated whenever possible,
- All directional signs to and within the premises incorporate directional arrows
- Signs are well lit with their own source of light

BS 8300: 2001 indicates that universally recognised symbols should be used to replace text, as an essential aid for people with learning difficulties. Where other types of pictograms and symbols are used these should be supplemented by text, and not used in isolation. The BS provides some examples. Further information on public information symbols can be found in BS 6034 and the RNIB publication Building Sight.

#### Lighting and Décor

Lighting and decor is important for navigation. Visually impaired people rely on being able to distinguish between the walls, floors, ceilings and doors, and between backgrounds and furniture.

Specifically :

- We propose the use of glare control measures such as blinds, matt finishes to combat reflection,
- We aim to consider using colour as a means of assisting orientation, for instance, using one colour for the floor surface to denote areas of public circulation
- We aim to consider using changes of floor finish in a similar way as colour
- We aim to provide adequate contrast between doors, walls, floors and ceilings, and between furniture and the background against which it will be viewed
- We aim to develop a strategy to distinguish between trims such as coving, skirting boards, architrave, dado and handrails, door handles, finger and kick plates by use of colour, tonal and textural contrast
- It is important to recognise that wheelchair provision is only one aspect of building accessibility, in fact it is the extreme situation. In addition to providing level access, the site wide access solutions will address other impairments including those associated with vision, audible and mobility.





# 9.0 Landscape Proposals

## Illustrative Plan

The landscape strategy has been amended since the previous application as a result of an increase in units across S03 and S04.

The key changes include the introduction of two additional communal spaces within S03 and S04.

- A communal courtyard within Subplot S03 has been introduced to provide amenity space for residents and for under 5 play provision serving the flats.

- An additional roof terrace has also been added to S04 further increasing the level of communal open space within the block.

In addition to the above there have been amendments to the S04 communal podium courtyard in order to accommodate the uplift in play provision required. Portland street park has also undergone a process of rationalisation so as to accommodate the uplift in play and also to maximise UGF.

- ① Block 3 Internal courtyard
- ② Block 3 Green roof
- ③ Block 4 Communal courtyard
- ④ Block 4 Roof terrace
- ⑤ Block 4 Roof terrace
- ⑥ Block 4 Green roof
- ⑦ Block 4 Green roof with integrated PV panels
- ⑧ Portland Street Park





# 9.0 Landscape Proposals

## Block 3 Internal Courtyard

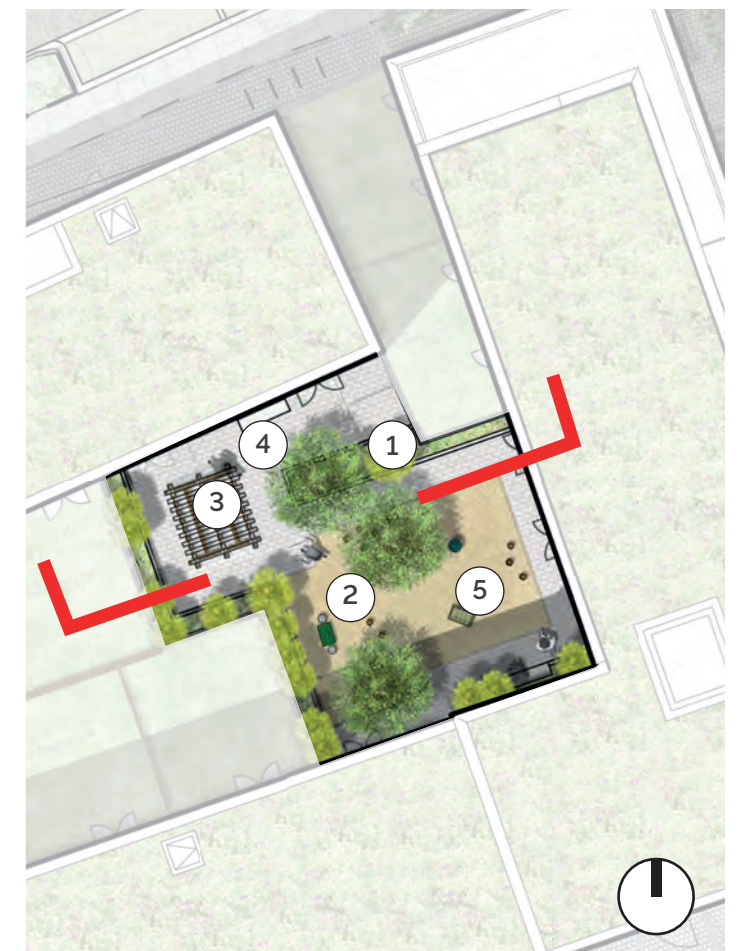
The S03 communal courtyard is broadly separated into two areas,

- Seating area for passive recreation
- Under 5's doorstep play

The play has been located at the southern end of the courtyard surrounded by shrub and herbaceous planting and multi-stem trees. The seating has been located in the more shaded northern end of the courtyard.



- ① Shrub and Herbaceous planting
- ② Doorstep play
- ③ Communal seating with pergola structure above
- ④ Permeable block paving
- ⑤ Permeable tiger mulch



# 9.0 Landscape Proposals

## Portland Street Park

The key strategic landscape features of Portland Street Park are the existing mature Plane trees and its location between Michael Faraday Primary School and Burgess Park. This park provides a convenient place for parents to sit whilst their children play on the nearby equipment en route to and from school. It is equipped with formal and informal play and climbing structures orientated for older children.

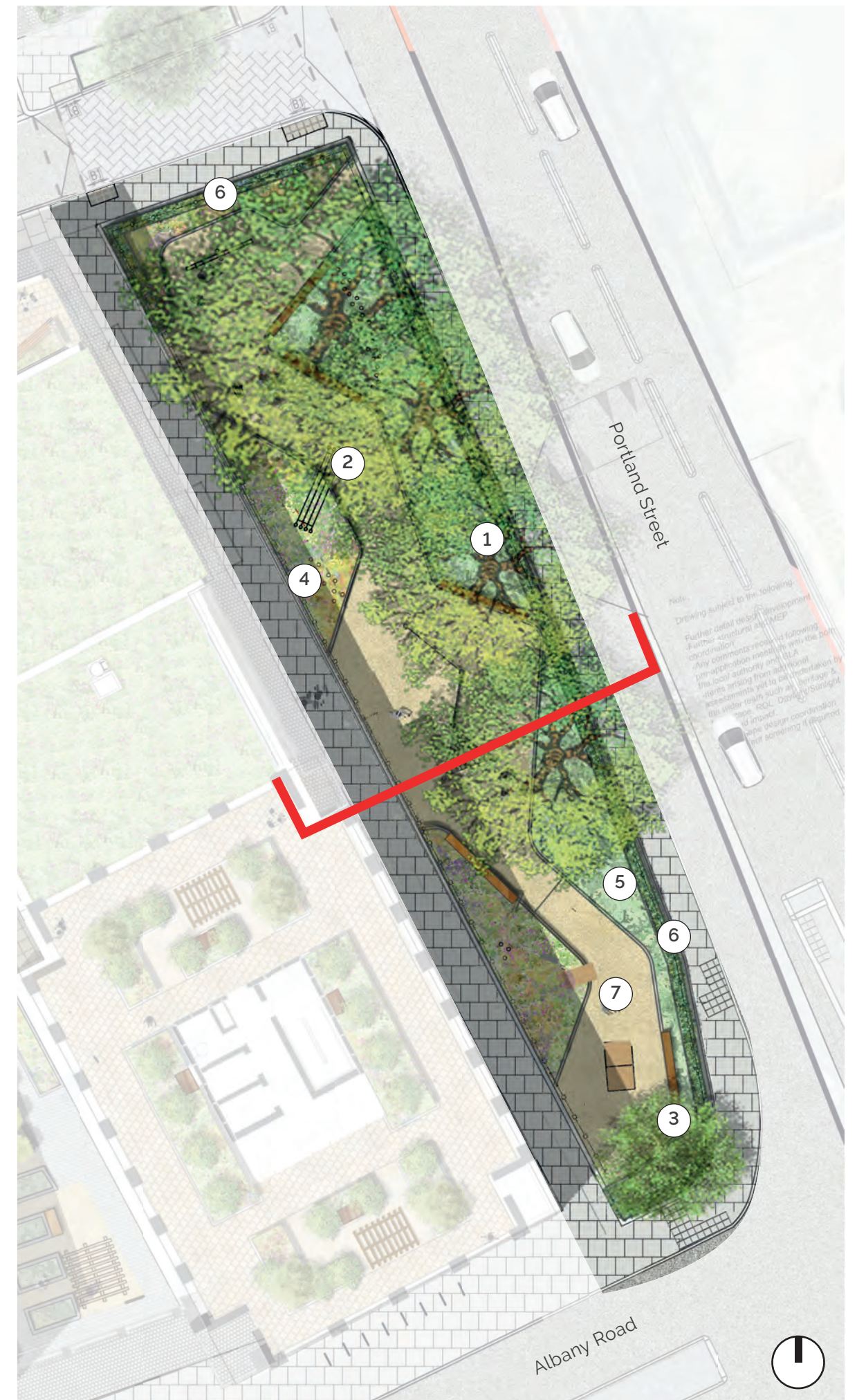
The four existing, mature Plane trees provide scale and character to the park as well as shade in the summertime. Space for relaxation is provided under the trees. The surrounding perennial and evergreen planting gives a sense of enclosure from the adjacent Portland Street.

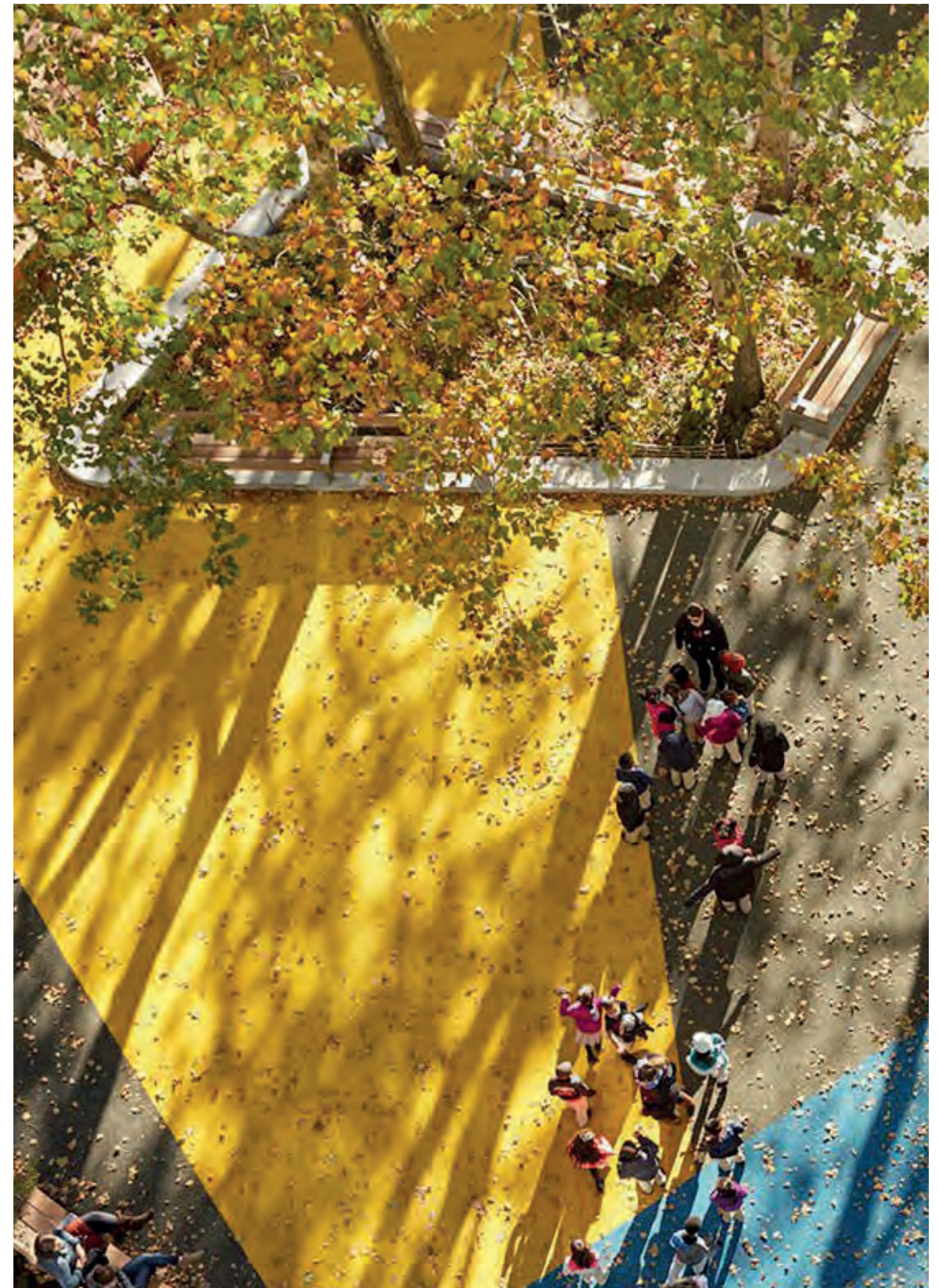
Feature seating, paving and planting will define the different spaces, creating a structure that allows different generations and activities to co-exist and interact without conflict.

Portland Street will be reduced in scale with the carriageway narrowed and parking formalised. A shared surface on East-West Street ensures north-south pedestrian movements are prioritized and good levels of accessibility into the Park provided.



- ① Existing mature trees to be retained
- ② Informal play for 5 to 12 years old
- ③ Timber bench
- ④ Perennial planting
- ⑤ Meadow turf underneath existing trees
- ⑥ Hedge to enclose and protect play area
- ⑦ Permeable tiger mulch to play area





# 9.0 Landscape Proposals

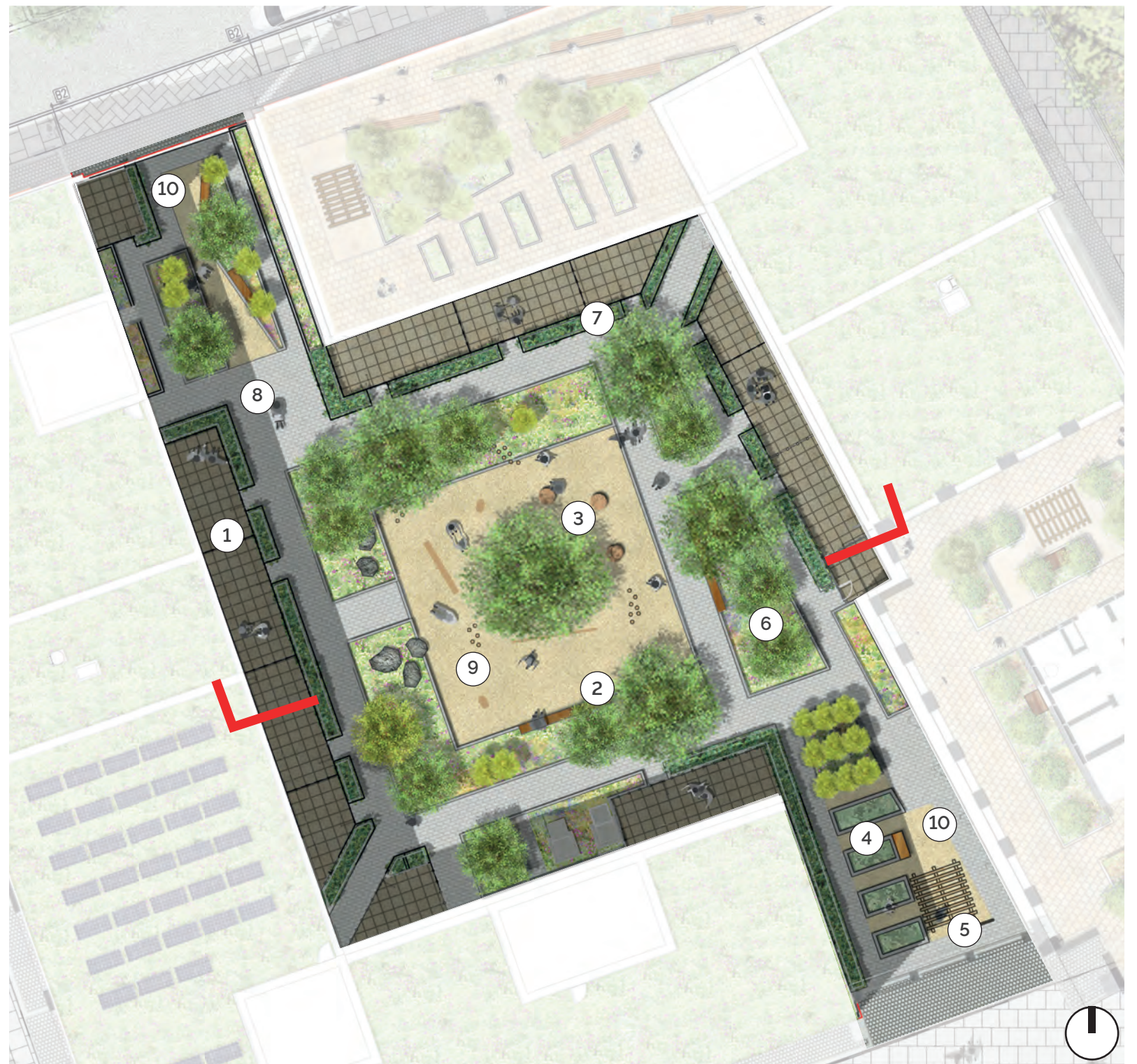
## Block 4 Communal Courtyard

The communal garden for Block 4 is also constructed on a first floor podium deck over an undercroft parking area below.

The main communal space has been designed as two distinct propositions; a large open area consisting of a large central doorstep playable space surrounded by trees and planting and a pair of smaller more intimate, passive communal spaces to the south-eastern and north-western sides of the garden.

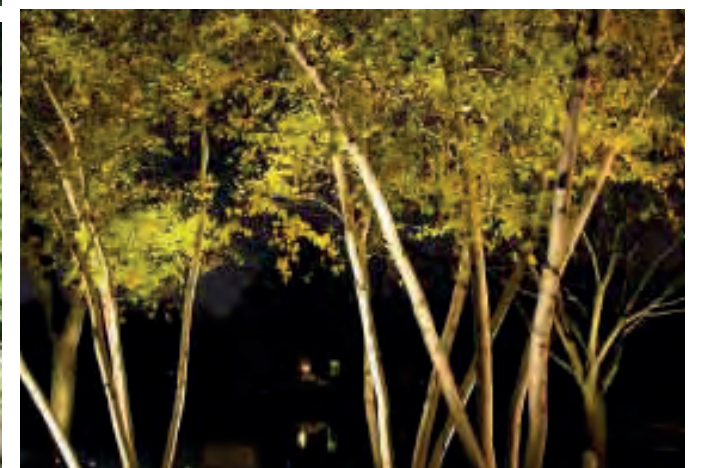
The south-eastern space, provide a direct link to the adjacent community facility with the adjacent block. As such it provides opportunity for community growing, communal eating and passive recreation, with views out over Burgess Park

The north-western space provides a quiet seating area away from the play and community uses.



- ① Private garden
- ② Seating area
- ③ Doorstep play
- ④ Vegetable garden in raised planters
- ⑤ Pergola structure overlooking Burgess Park
- ⑥ Raised planters with trees and herbaceous planting
- ⑦ Hedge to separate communal and private spaces
- ⑧ Permeable block paving
- ⑨ Permeable tiger mulch
- ⑩ Permeable resin bound gravel



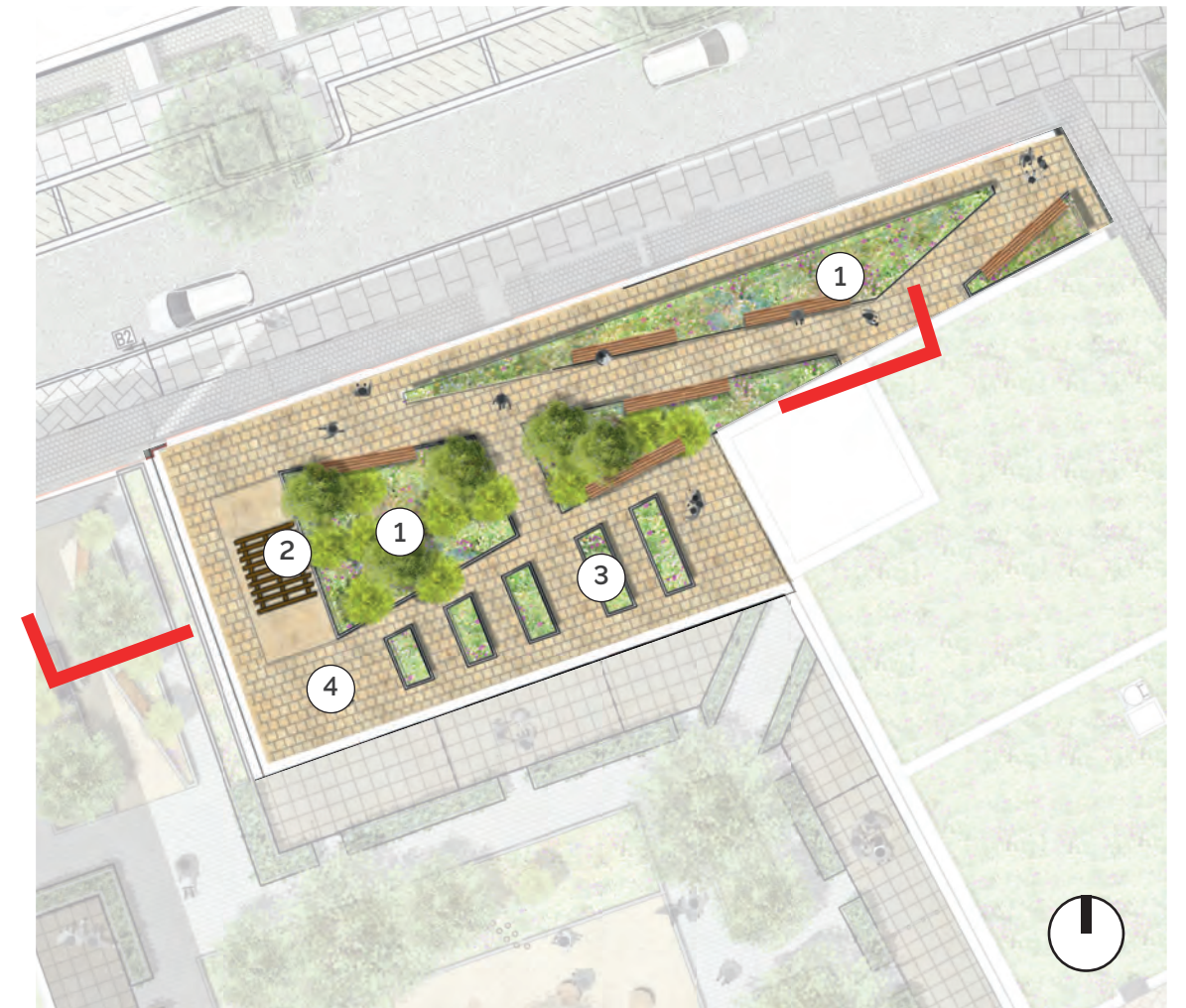


# 9.0 Landscape Proposals

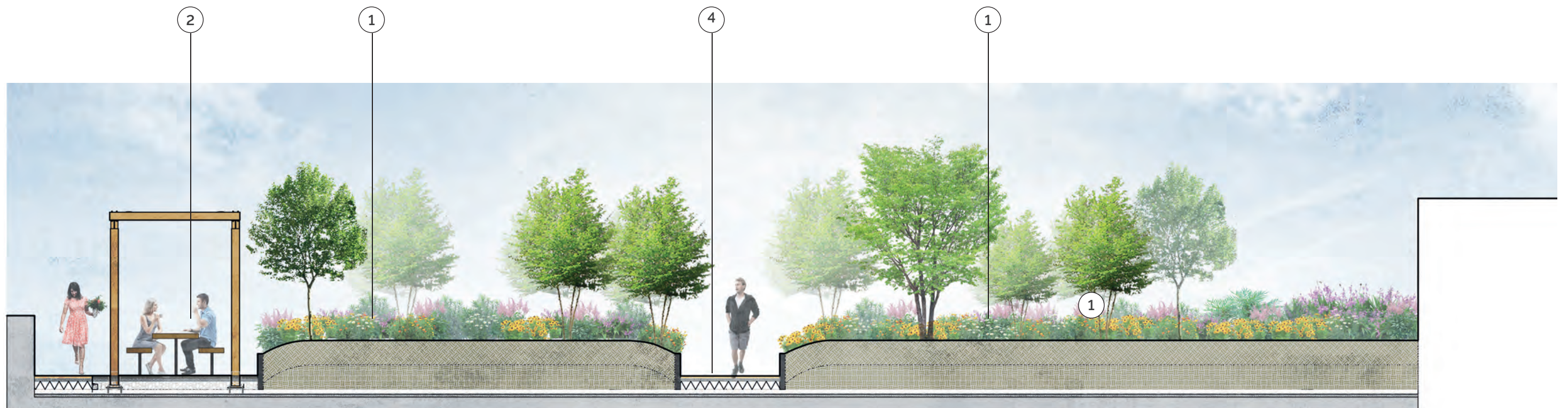
## Communal Roof Terrace

The communal roof terrace provides a quiet space for residents to enjoy, unlike to the podium it is for primarily passive recreation through the provision of large areas of biodiverse planting, seating, areas for communal eating and communal growing spaces.

The layout of the roof has been designed to maximise views out and down into the communal podium garden below. The planting has been kept to the centre of the roof terrace to provide shade whilst allowing the communal eating areas and growing beds to remain largely un shaded.



- ① Raised planter with trees and herbaceous planting
- ② Communal seating with pergola structure above
- ③ Vegetable garden in raised planters
- ④ Pc concrete slabs





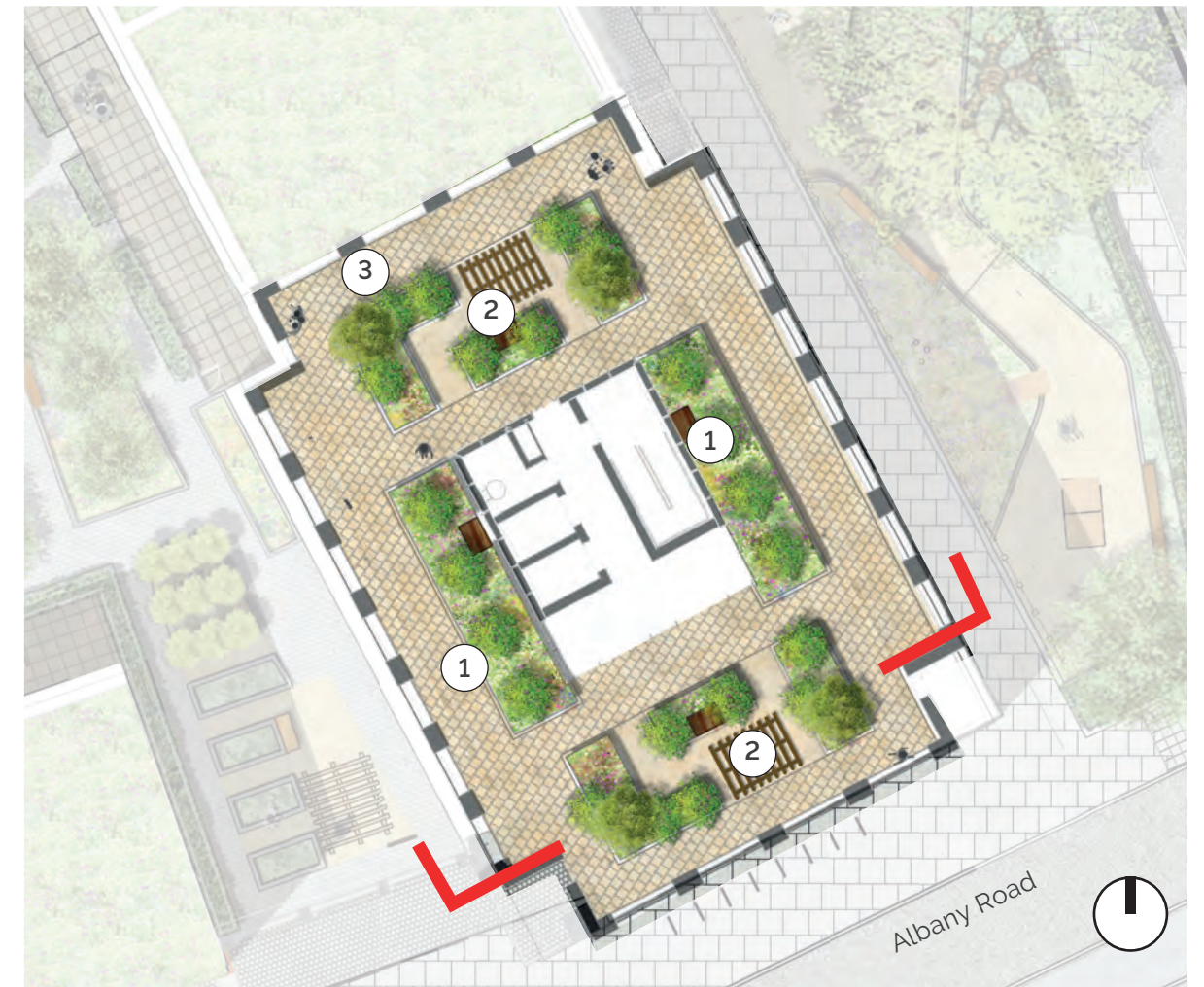
## 9.0 Landscape Proposals

### 4A Communal Roof Terrace

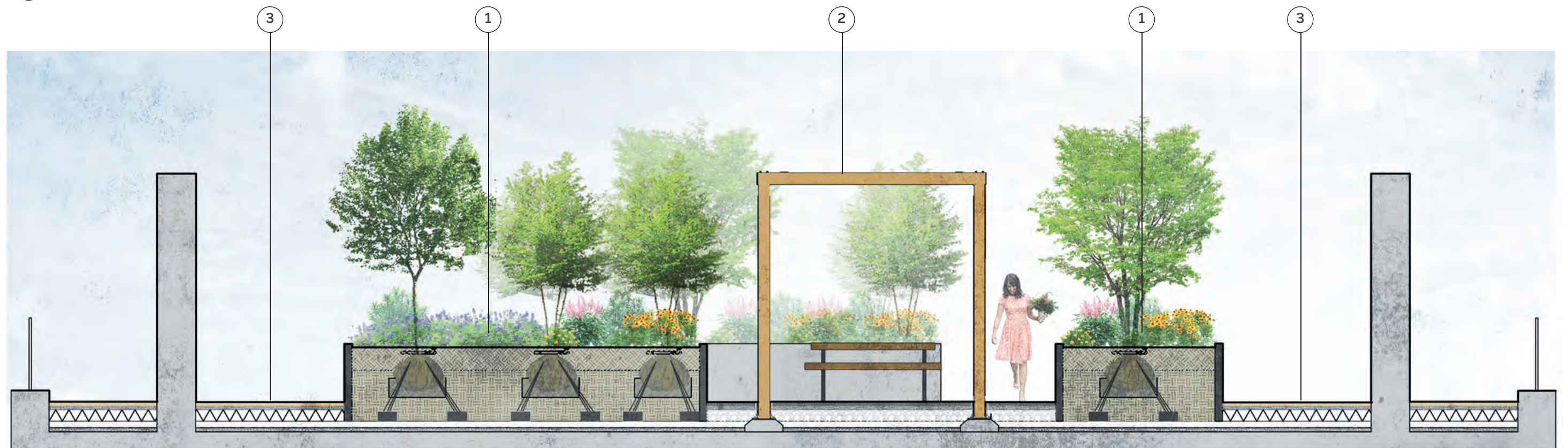
The 4A communal roof terrace due to its elevation hosts extensive views across Aylesbury, towards Central London to the north and south across Burgess Park.

As result the planting has again been kept to the centre of the roof terrace allowing shading of seating areas whilst preventing views out from being compromised.

Communal areas for passive recreation and eating etc have been located at the northern and southern ends of the roof terrace to make best use of both the aspect and views.



- ① Raised planter with trees and herbaceous planting
- ② Communal seating with pergola structure above
- ③ Pc concrete slabs





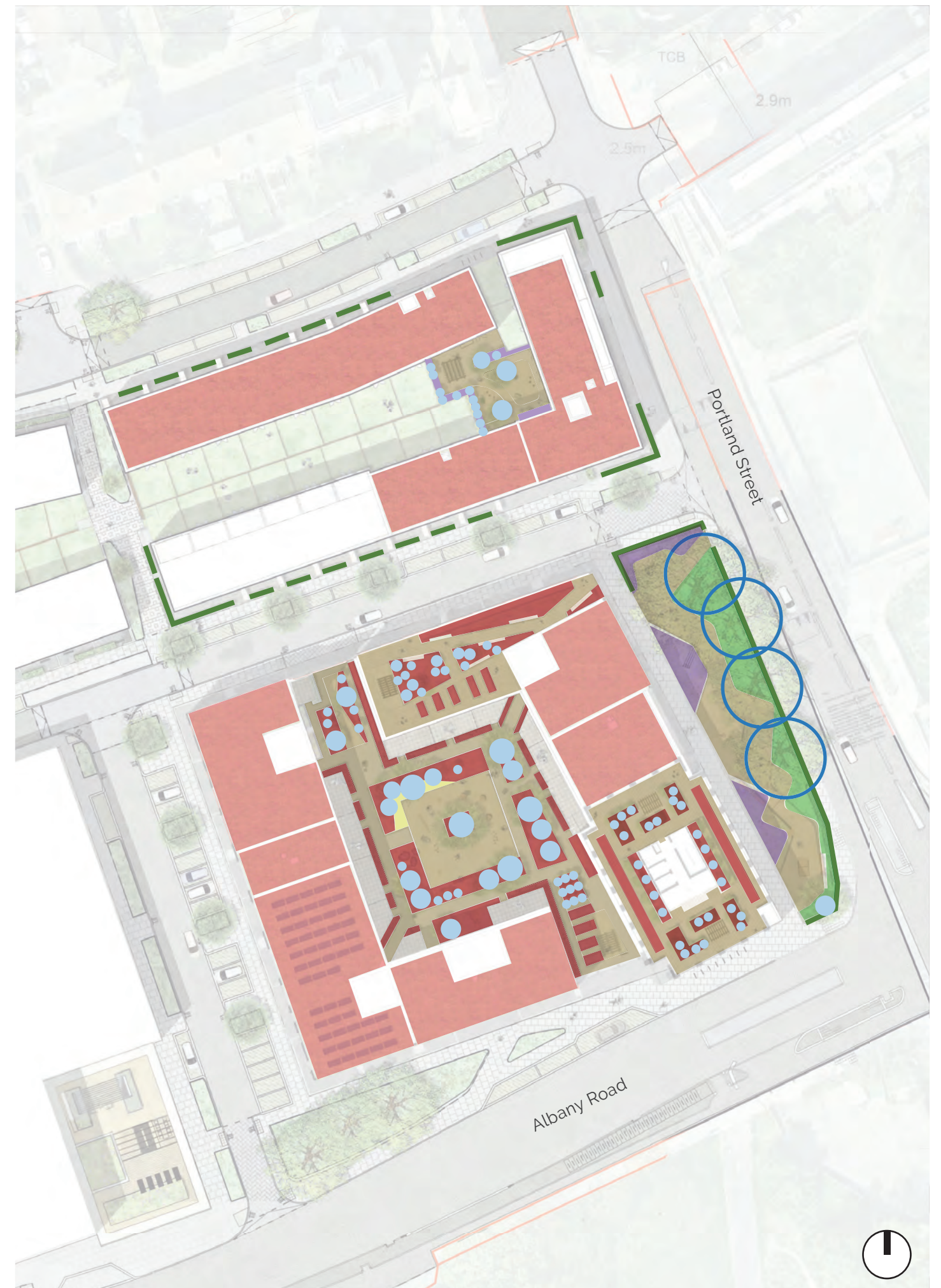


# 9.1 Urban Greening Factor

The landscape proposals contain a range of soft landscape typologies in order to maximise urban greening and aid in the creation of healthy, walkable, safe streets.

The masterplan looks to maximise soft landscape and tree cover at ground, podium and roof level as far as possible. As well as the integration of existing trees to Portland Street, and provision of permeable paving where appropriate.

As such it has been possible to achieve 0.43, slight above the minimum 0.4 UGF required for residential schemes by the GLA.



Urban Greening Factor Calculator				
Surface Cover Type	Factor	Area (m <sup>2</sup> )	Contribution	Notes
Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site.	1	152	152	
Wetland or open water (semi-natural; not chlorinated) maintained or established on site.	1		0	
Intensive green roof or vegetation over structure. Substrate minimum settled depth of	0.8	567	453.6	
Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree.	0.8	723	578.4	no. 4 existing and retained
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014.	0.7	2426	1698.2	
Flower-rich perennial planting.	0.7	122	85.4	
Rain gardens and other vegetated sustainable drainage elements.	0.7		0	
Hedges (line of mature shrubs one or two shrubs wide).	0.6	187	112.2	
Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree.	0.6	486	291.6	
Green wall –modular system or climbers rooted in soil.	0.6		0	
Groundcover planting.	0.5		0	
Amenity grassland (species-poor, regularly mown lawn).	0.4	29	11.6	
Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014.	0.3		0	
Water features (chlorinated) or unplanted detention basins.	0.2		0	
Permeable paving.	0.1	1695	169.5	
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0		0	
<b>Total contribution</b>			<b>3552.5</b>	
<b>Total site area (m<sup>2</sup>)</b>				<b>8200</b>
<b>Urban Greening Factor</b>				<b>0.43</b>

## 9.2 Proposed Trees Strategy

Tree species and character have been selected to identify a clear hierarchy within the different open spaces. The trees proposed are consistent with those proposed across other phases of the FDS as such they will further reinforce the character of Aylesbury and create unity between the various courtyards, streets and open spaces.

Trees have been located in soft areas as much as possible. Where this is not practical, tree cells have been proposed in order to ensure appropriate soil volume can be provided to maximise the trees ability to reach their potential.

### Key

-  Existing retained trees  
*Platanus x acerifolia*
-  **Acer x freemanii Autum Blaze 'Jeffersred'**  
Semi-mature, h 5-5.5m
-  **Amelanchier lamarckii**  
Multi-stem, h 2-2.5m
-  **Betula utilis jacquemontii**  
Semi-mature, h 5-6m
-  **Cercis chinensis**  
Multi-stem, h 1.8-2m
-  **Davidia involucrata**  
Semi-mature, h 4-4.5m
-  **Gleditsia triacanthos**  
Semi-mature, h 5-5.5m
-  **Magnolia stellata**  
Multi-stem, h 2-2.5m
-  **Malus domestica 'Red Windsor'**  
Standard, h 2.5-3m
-  **Prunus domestica 'Victoria'**  
Standard, h 2.5-3m
-  **Pyrus communis 'Beth'**  
Standard, h 2.5-3m



Acer x freemanii Autum Blaze 'Jeffersred'



Gleditsia triacanthos



Amelanchier lamarckii



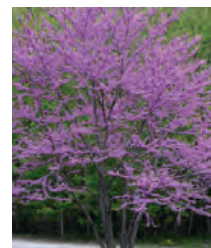
Magnolia Stellata



Betula utilis jacquemontii



Malus-domestica-Red-Windsor



t chinensis



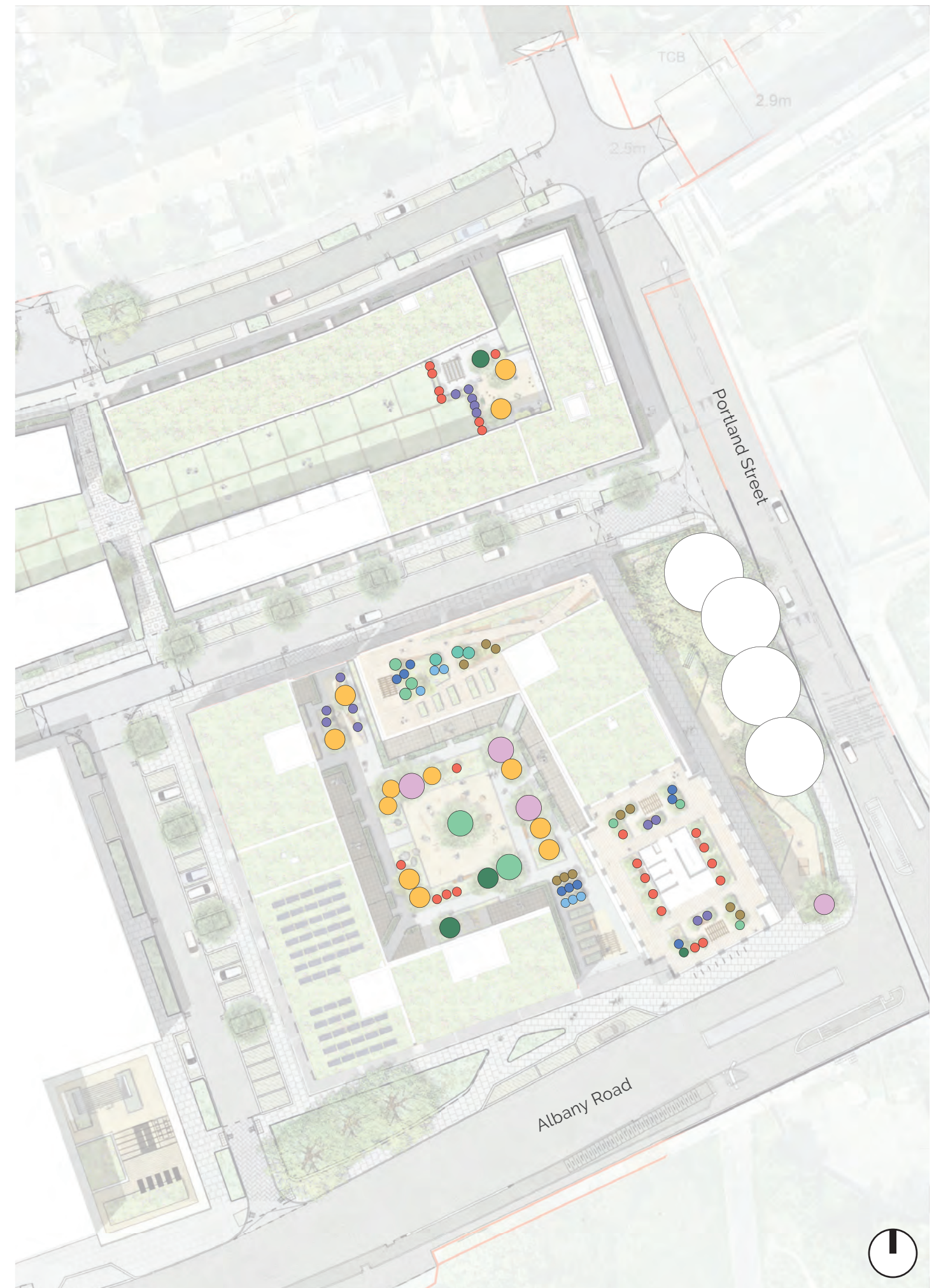
Prunus domestica 'Victoria'



Davidia involucrata



Pyrus communis 'Beth'



## 9.3 Planting Strategy

The landscape proposals have been designed in order to provide robust and seasonal planting.

The core of the planting pallet is consistent across the FDS as a whole with some variation so as to create variety without losing cohesion.

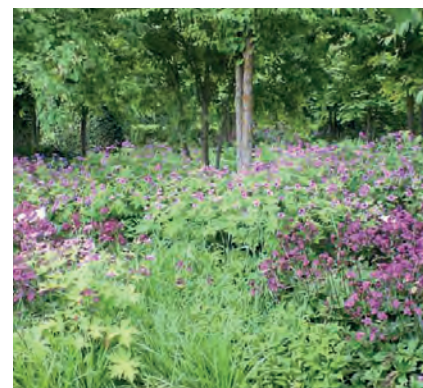
The planting typologies have been devised so as to support the UGF by providing a range of soft landscape habitats across the development at ground, podium and roof levels.

The result is a green development with focused areas of rich soft landscape that can be enjoyed both actively and as visual amenity at different levels through the development.

For more details refer to detail planting plans NHG-FDS\_HTA-L\_DR\_0903 and 0904

### Key

- Hedge Mix 1
- Hedge Mix 2
- Perennial Mix 1
- Perennial Mix 2
- Perennial Mix 3
- Perennial Mix 8
- Perennial Roof Mix 1
- Tree Base Mix
- Shrub Mix 1
- Shrub Roof Mix 1
- Edibles Mix 1
- Edibles Mix 2
- Meadow Turf



Perennial Mix 2



Viburnum davidii



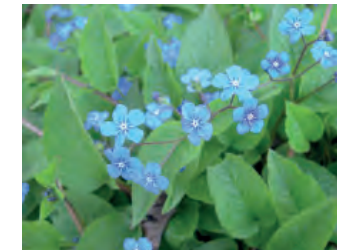
Luzula sylvatica



Geranium pratense hybrids



Aster divaricatus



Brunnera macrophylla



Geranium psilostemon



Liriope vars.

Perennial Mix 3



Fatsia japonica



Arauncus dioicus



Geranium 'Rozanne'



Aster divaricatus



Stachys macrantha



Geranium x oxonianum vars.

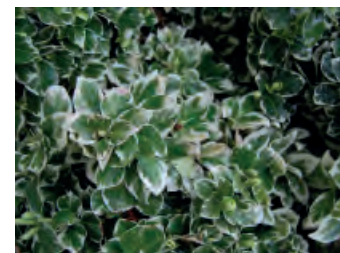


Geranium phaeum vars.

Perennial Mix 8



Mahonia repens



Euonymus fortunei vars.



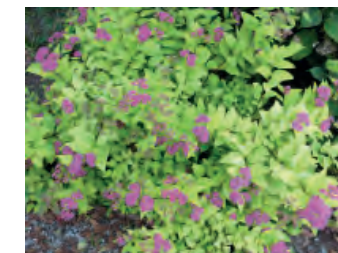
Stephanandra incisa



Pachysandra terminalis



Hebe rakaienses



Spiraea x bumalda



Acanthus mollis

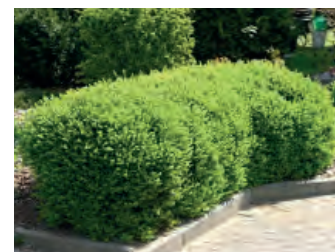
Hedge Mix 1



Berberis darwinii



Pyracantha 'Orange Glow'



Lonicera nitida

## 9.4 Materials Strategy


The proposed materials pallet is simple and robust. The materials selected are in keeping with selected for the FDS as a whole in order to create a sense of identity and unity across the FDS and Aylesbury as a whole.


Where possible permeable paving materials have been selected, particularly in relation to any hard surface within existing trees.

The highways materials shown form part of the consented works under Contract A and as such are inline with the proposals.

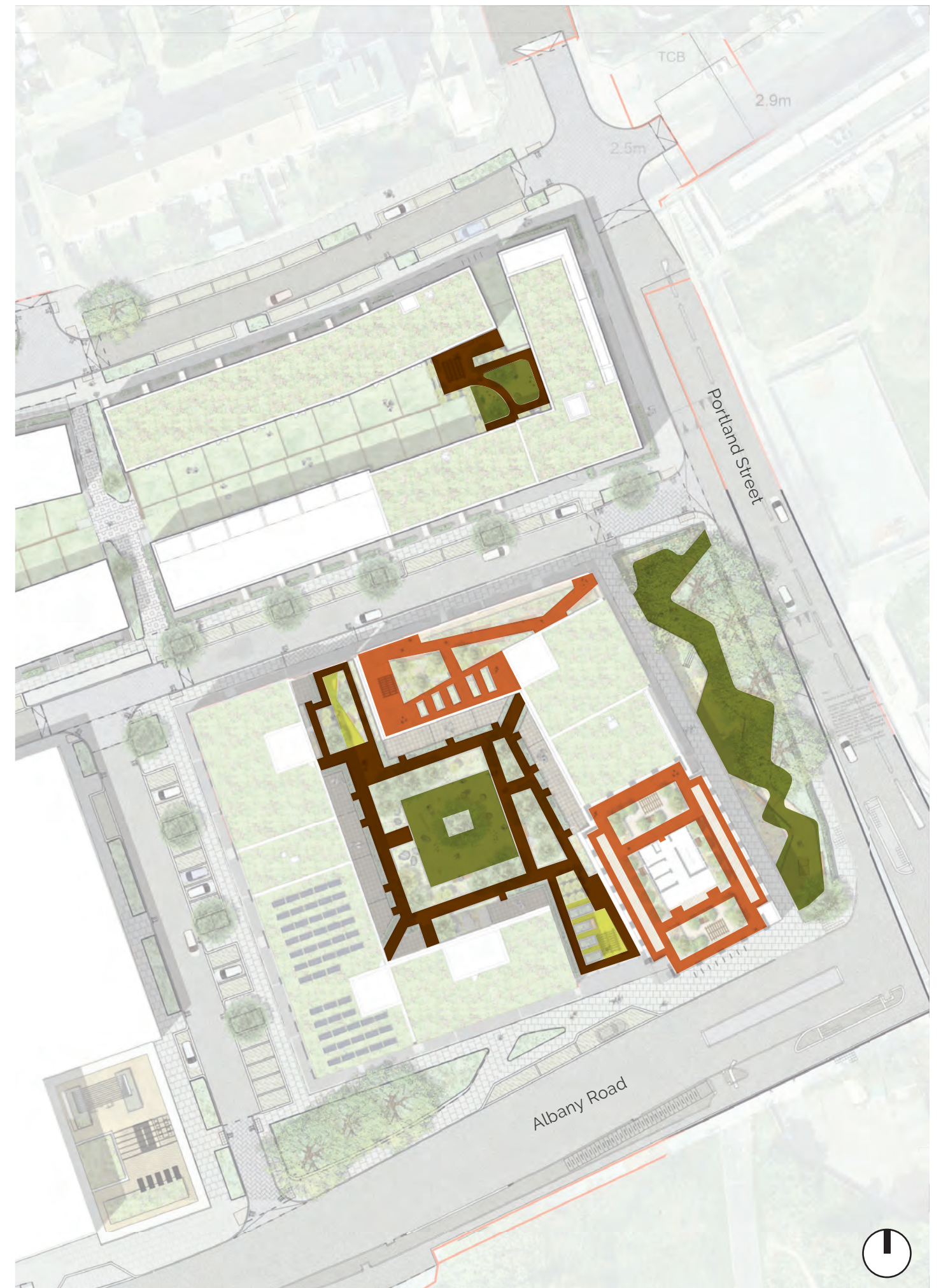
### Key

 Permeable block paving

 Precast concrete slabs

 Permeable resin bound gravel

 Permeable tiger mulch




# 9.5 Street Furniture Strategy

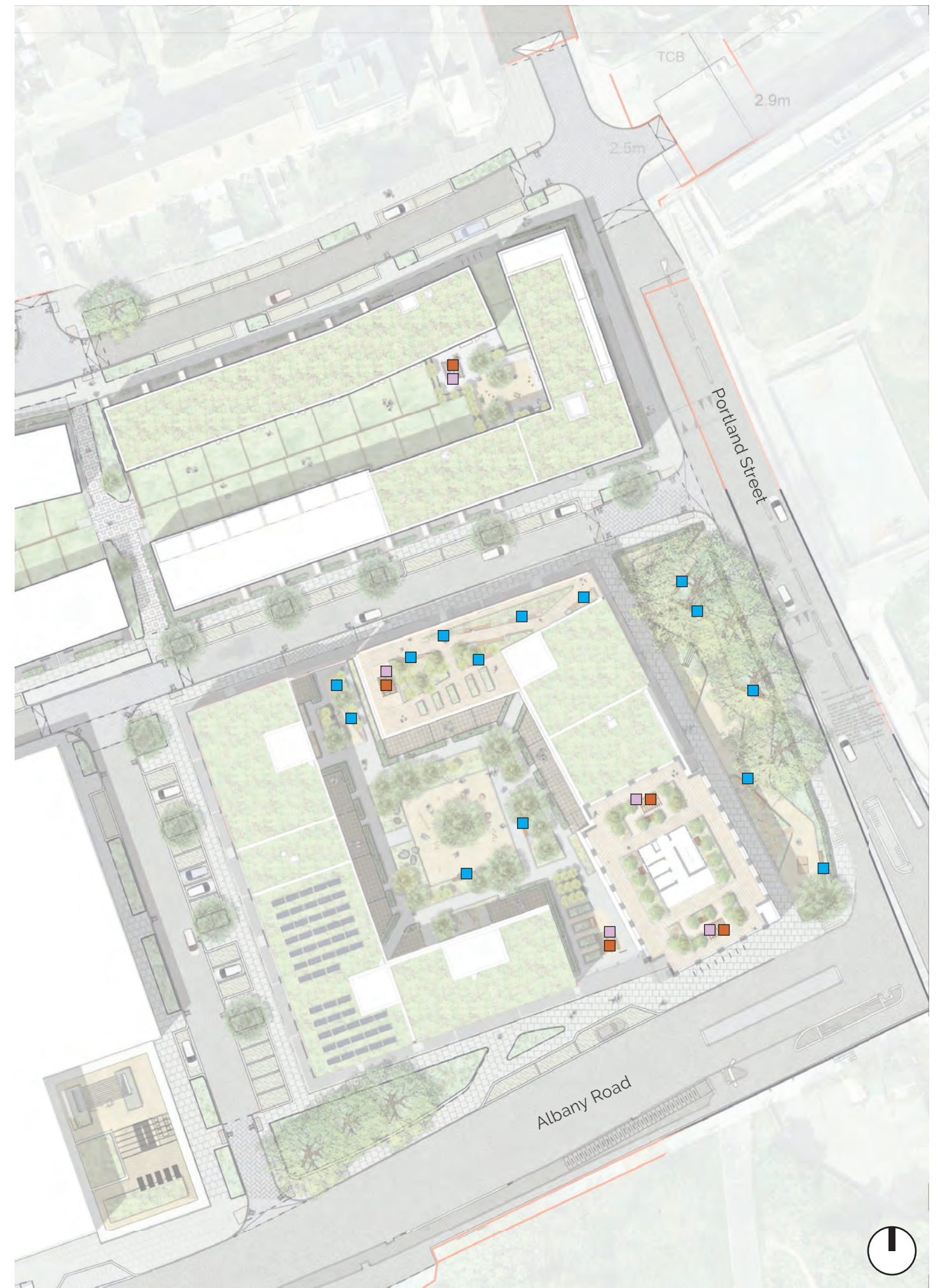
The furniture proposed fits with the suite of street furniture proposed across the FDS and as such further reinforces the character of the estate whilst creating a cohesive and clutter free appearance.

### Key

 Pergola structure

 Dining area

 Timber bench to planter edge



# 9.6 Boundary Treatment Strategy

The boundary treatment strategy is simple and robust and has been developed with secure by design in mind. Where possible soft landscape has been used to soften front boundaries

Timber Palisade Fence ●●●●●●●● Hedge planting



Close Board Timber Fence

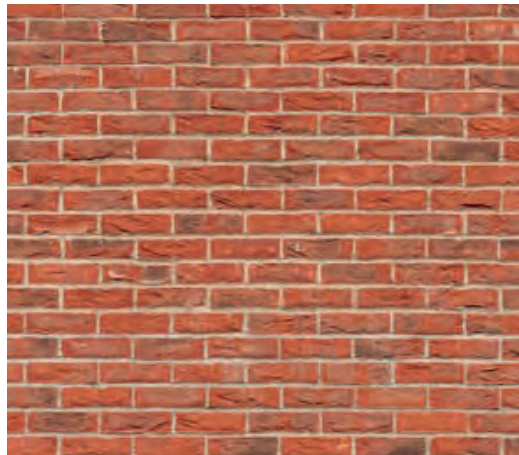
Brick wall / Railings



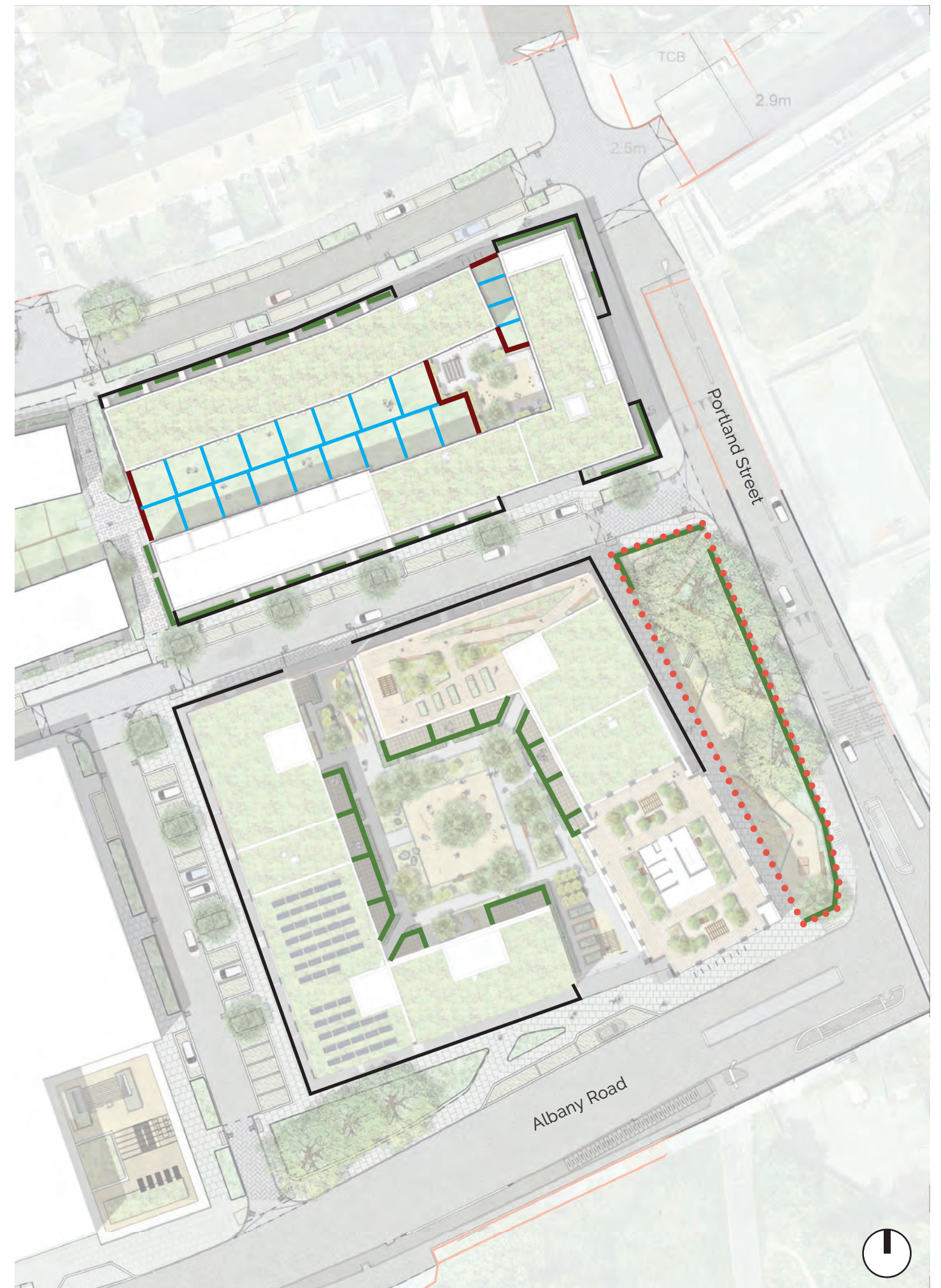
To architects details

To architects details

Brick wall



To architects details





## 9.7 Play Strategy

Doorstep play for age groups 0-5 will be provided within the S03 and S04 secure communal courtyards. Play for age groups 5 to 11 years old will be provided with the new Portland Park, with some provision for under 5's


Opportunities for play will be inclusive and accessible for different age groups and disabilities, and make use of playable landscape where possible.


Play equipment will be selected to be robust, long-lasting and safe.


The following images provide an example of what could be provided.




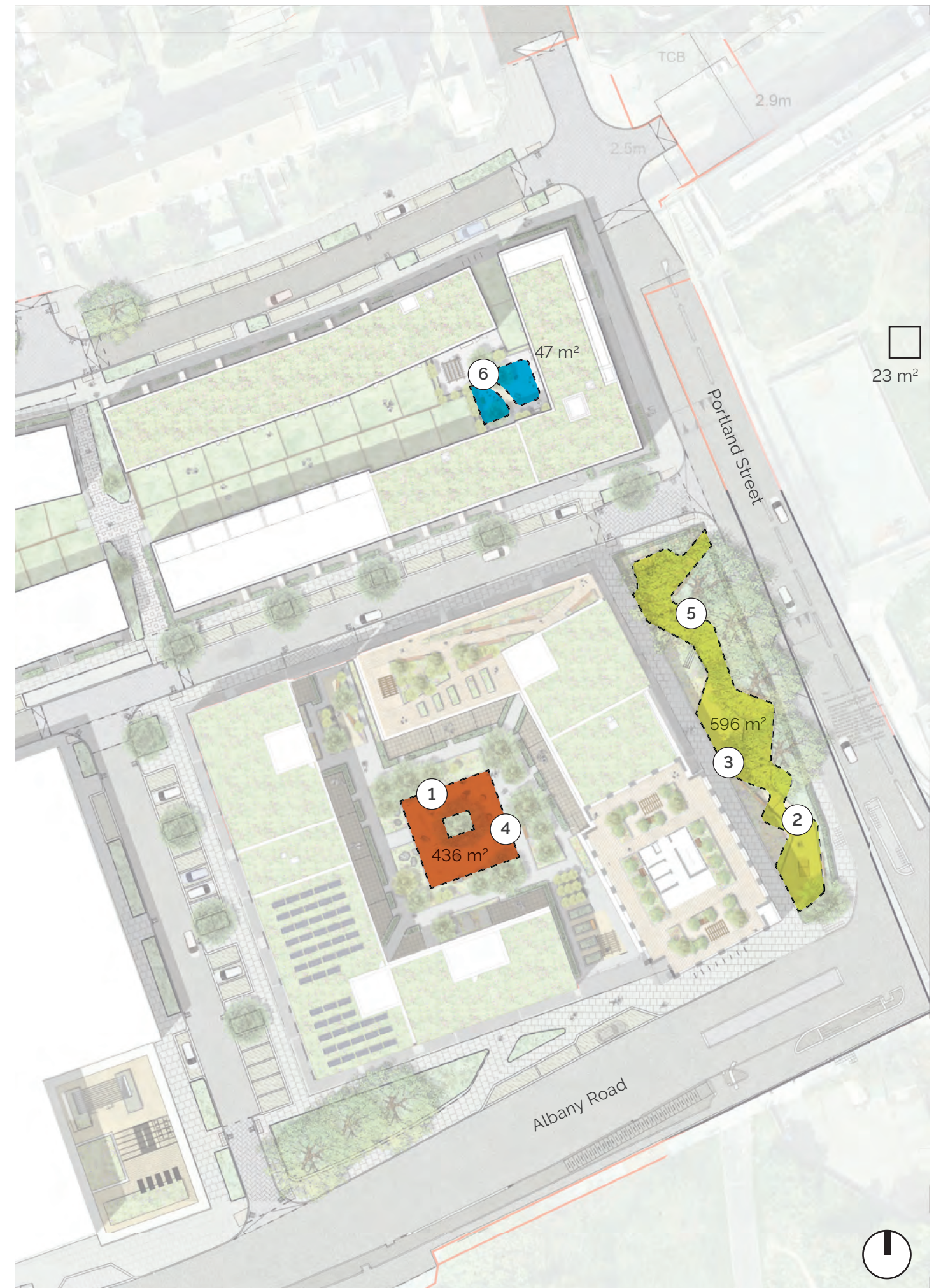
### Key

 **Block S03**  
Under 5 years-old, 47 m<sup>2</sup>

 **Block S04**  
Under 5 years-old, 436m<sup>2</sup> (379m<sup>2</sup> requirements + 57m<sup>2</sup> uplift)

 **Portland Park**  
5 to 11 years-old, 596m<sup>2</sup> (525m<sup>2</sup> requirements + 71m<sup>2</sup> uplift)

 **Off-site provision**  
12+ years-old, 23m<sup>2</sup>





1. Glacial play boulders



2. Stepping features



3. Informal timber trail



4. Animal-shaped timber sculptures



5. Climbing structure



6. Natural play

**PLANNING APPROVED**

Approved FDS Child Yield and Play Provision Requirement - Feb' 2015

	FIRST DEVELOPMENT SITE	
	CHILD YIELD	PLAY PROVISION REQUIREMENT
0-5	151	1,510 sqm
5-11	150	1,500 sqm
12+	113	1,130 sqm
<b>TOTAL</b>	<b>414</b>	<b>4,140 sqm</b>

**AMENDED**

Revised FDS Child Yield and Play Provision Requirement - Sep' 2017

	FIRST DEVELOPMENT SITE	
	CHILD YIELD	PLAY PROVISION REQUIREMENT
0-5	165	1,650 sqm
5-11	158	1,580 sqm
12+	118	1,180 sqm
<b>TOTAL</b>	<b>441</b>	<b>4,405 sqm</b>

**AMENDED**

Revised FDS Child Yield and Play Provision Requirement- Mar 2022

	FIRST DEVELOPMENT SITE	
	CHILD YIELD	PLAY PROVISION REQUIREMENT
0-5	175	1,754 sqm
5-11	164	1,645 sqm
12+	119	1,197 sqm
<b>TOTAL</b>	<b>458</b>	<b>4,605 sqm</b>

Approved Proposed Play and Recreation Facilities - Feb' 2015

TYOLOGY	LOCATION	PROVISION	TOTAL FOR TYOLOGY	REQUIREMENT	DIFFERENCE	ACCESSIBILITY REQUIREMENTS
Local Playable Space (5-11yrs)	Westmoreland Park	956sqm	1,631sqm	1,500sqm	+ 131sqm	Within 400m
Local Playable Space (5-11yrs)	Portland Park	675sqm				
Doorstep Playable Spaces (0-5yrs)	Communal Courtyard Gardens, Blocks 4,5 & 6	1,970sqm	2,210sqm	1,270sqm	+ 700sqm	Within 100m
Doorstep Playable Spaces (0-5yrs)	Private Gardens to Houses	240sqm *				
<b>Total On-site Provision</b>		<b>3,841sqm</b>				
Youth Space (12+yrs)	Off Site Provision	1,130sqm	1,130sqm	1,130sqm	0	Within 800m
<b>Total - Playable Space Provision</b>		<b>4,971sqm</b>				

\* In line with advice set out in paragraph 4.32 of the Mayor's SPG 'Shaping Neighbourhoods: Play and Informal Recreation SPG', the child yield for children under the age of five has been calculated for houses separately and the spatial requirements have been assumed to have been met in full.

Revised Proposed Play and Recreation Facilities - Sep' 2017

TYOLOGY	LOCATION	PROVISION	TOTAL FOR TYOLOGY	REQUIREMENT	DIFFERENCE	ACCESSIBILITY REQUIREMENTS
Local Playable Space (5-11yrs)	Westmoreland Park	956sqm	1,481sqm	1,580sqm	- 99sqm	Within 400m
Local Playable Space (5-11yrs)	Portland Park	525sqm				
Doorstep Playable Spaces (0-5yrs)	Communal Courtyard Gardens - Plots 1, 4,5 & 6	1,970sqm	2,210sqm	1,410sqm	+ 560sqm	Within 100m
Doorstep Playable Spaces (0-5yrs)	Private Gardens to Houses	240sqm *				
<b>Total On-site Provision</b>		<b>3,691sqm</b>				
Youth Space (12+yrs)	Off Site Provision	1,180sqm	1,180sqm	1,180sqm	0	Within 800m
<b>Total - Playable Space Provision</b>		<b>4,871sqm</b>				

\* In line with advice set out in paragraph 4.32 of the Mayor's SPG 'Shaping Neighbourhoods: Play and Informal Recreation SPG', the child yield for children under the age of five has been calculated for houses separately and the spatial requirements have been assumed to have been met in full.

Revised Proposed Play and Recreation Facilities - Mar 2022

TYOLOGY	LOCATION	PROVISION	TOTAL FOR TYOLOGY	REQUIREMENT	DIFFERENCE	ACCESSIBILITY REQUIREMENTS
Local Playable Space (5-11yrs)	Westmoreland Park	956sqm	1,552sqm	1,645sqm	+104 sqm	Within 400m
Local Playable Space (5-11yrs)	Portland Park	596sqm				
Doorstep Playable Spaces (0-5yrs)	Communal Courtyard Gardens - Plots 1,3,4,5&6	2,373qm	2,613sqm	1,514sqm	+65 sqm	Within 100m
Doorstep Playable Spaces (0-5yrs)	Private Gardens to Houses	240sqm				
<b>Total On-site Provision</b>		<b>4,165sqm</b>				
Youth Space (12+yrs)	Off Site Provision	1,197 sqm	1,197 sqm	1,197 sqm	+17 sqm	Within 800m
<b>Total - Playable Space Provision</b>		<b>5,362sqm</b>				

\* In line with advice set out in paragraph 4.32 of the Mayor's SPG 'Shaping Neighbourhoods: Play and Informal Recreation SPG', the child yield for children under the age of five has been calculated for houses separately and the spatial requirements have been assumed to have been met in full.

Subplot 3 Consented Scheme play requirements: 428 sqm  
 Subplot 3 Redesigned scheme play requirements: 500.1 sqm  
**Breakdown of additional play required:**  
 Under 5's : 47 sqm  
 5-11's: 26 sqm  
 12+: -1 sqm  
**Total additional play required: 72 sqm**

Subplot 4 Consented Scheme play requirements: 808 sqm  
 Subplot 4 Redesigned scheme play requirements: 923 sqm  
**Breakdown of additional play required:**  
 Under 5's : 57 sqm  
 5-11's: 39 sqm  
 12+: 18 sqm  
**Total additional play required : 114 sqm**

**Total Breakdown of additional play required:**  
 Under 5's : 104 sqm  
 5-11's: 65 sqm  
 12+: 17 sqm  
**Total additional play required: 186 sqm**

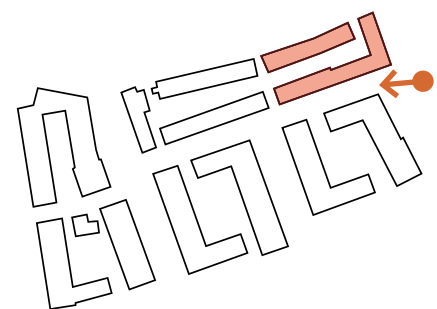






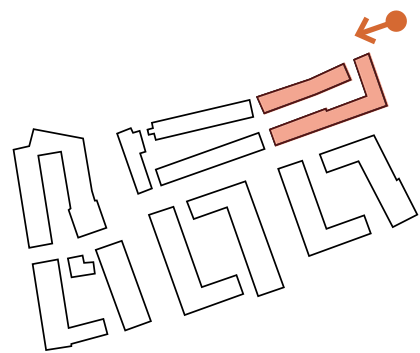
## 9.0 Views

### View of Block 3B / South Elevation



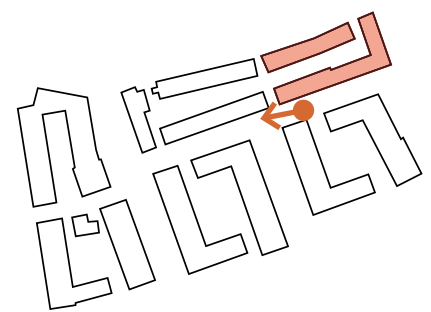
## 9.0 Views

### View along Westmoreland Road



## 9.0 Views

### View along New East West Street



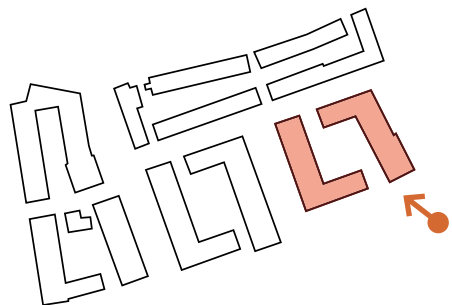


## 9.2 Subplot S04 Views

View North from Burgess Park



EXTANT CONSENT



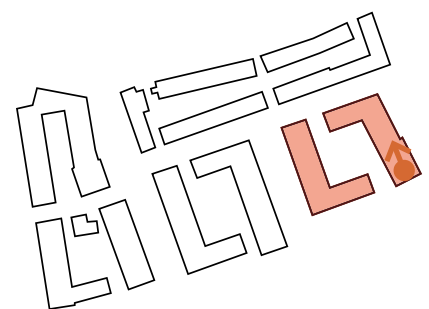
PROPOSED

## 9.2 Subplot S04 Views

View of 4A roof terrace



EXTANT CONSENT



PROPOSED

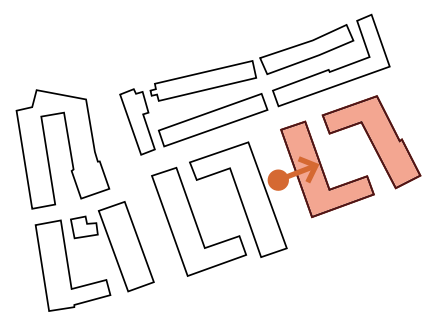
# 9.2 Subplot S04 Views

## View of West Elevation



EXTANT CONSENT

PROPOSED

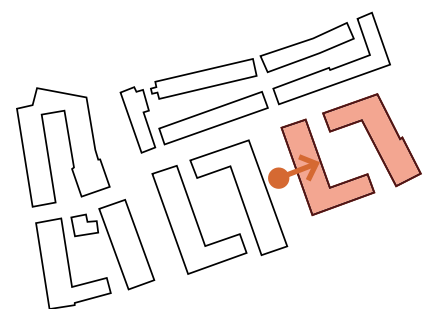


## 9.2 Subplot S04 Views

View West of courtyard



EXTANT CONSENT



PROPOSED

## 9.2 Subplot S04 Views

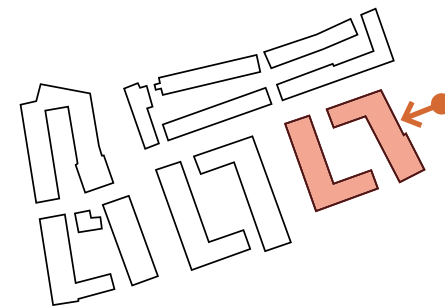
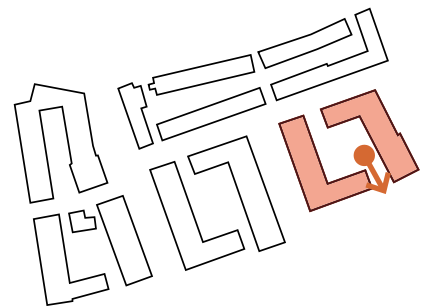
### Proposed Amendment Views



PROPOSED - VIEW SOUTH FROM SUBPLOT S04 COURTYARD



PROPOSED - VIEW OF EAST ELEVATION / PORTLAND PARK







## 9.0 Conclusion

The amendments to the extant consent scheme will deliver 902 homes across the First Development Site. Representing an uplift of 60 additional homes over the consented 842 dwellings.

The applicant and the design team have approached the site taking into consideration both existing and emerging context. Minor amendments to the elevations and building design seek to ensure that the architectural quality is maintained and is deliverable in terms of buildability, cost and sustainability.

Taking advantage of the location of Subplot S03 and S04 along Albany Road, the proposed amendments have been designed to have permeability by creating visual and physical connections to Burgess Park. The ground floor is designed to maximise active frontage by providing block entrances connected to communal amenity spaces, accommodation with private amenity spaces, accessible bicycle storages as well as a commercial unit.

The minor amendments proposed reflect the team's commitment to delivering a high quality architectural, landscape and townscape solution that will deliver the urban design principles established within the planning application.



PROPOSED VIEW NORTH FROM BURGESS PARK SHOWING SUBPLOT S04





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